

Notice to Bidders

Notice is hereby given that the Webb County Self-Help Center is currently accepting bids for the Reconstruction of homes under the Webb County Self-Help Center Program. The work includes; demolition of existing home and building a new home according to plans provided.

Bid 2015-2 "Webb County Self-Help Center Reconstruction of Homes"

1. SHC-Recon-09(1 bedroom 1 bath home) 6828 Desperado
2. SHC-Recon-10(1 bedroom 1 bath home) 105 W. Meirs
3. SHC-Recon-11(3 bedroom 1 bath home) 125 W. Ibarra

Bids must be submitted with (1) one original and (3) copies in sealed envelopes to the office of the Webb County Clerk.

Sealed envelopes must be marked (Sealed Bid) with bid numbered and service on the front lower left-hand corner of envelope.

Bid must be hand delivered or mailed to the following location:

Webb County Clerk
Webb County Justice Center
1110 Victoria St., Suite 201
Laredo, Texas 78042

A Mandatory Pre-Bid meeting will be held **on Monday April 20, 2015** at the Webb County Self-Help Center at 9:30 am. Contractors may visit proposed job site at this time.

Bids must be delivered no later than **Monday April 27, 2015 at 2:00 pm** which time all bids received will be opened and read to the public. Late bid will not be considered.

Bid documents, plans and specifications may be obtained at www.webbcountytexas.gov under Purchasing Agent. If any additional information is needed contact Arnoldo Cervantes Webb County Self-Help Center Construction Coordinator 8116 Hwy 359 at the Self-Help Center office (956) 728-1481 or Leticia Gutierrez, Administrative Assistant for Purchasing Agent 1110 Washington, Suite 101 at 956-523-4125.

Bids will be awarded by project numbers. The County of Webb reserves the right to reject any and all bids, or to select the lowest and best bid that will serve in the best interest of Webb County.

Dr. Cecilia May Moreno, Webb County Purchasing Agent

**WEBB COUNTY
HOUSING RECONSTRUCTION
BID PACKAGE**

1. **NOTICE TO BIDDERS**
2. **BID INVITATION** (MUST BE SIGNED)
3. **INSTRUCTION TO BIDDERS** (Must Read)
 - BIDDERS QUALIFICATIONS (Read)
 - BID BOND MUST BE SUBMITTED
4. **CONTRACTOR ELIGIBILITY REQUIREMENTS** (MUST BE SUBMITTED)
 - PROOF OF FINANCIAL CAPACITY AND CREDIT HISTORY (INCLUDE LETTER OF REFERENCE FROM BANK)
 - PROOF OF INSURANCE COMPLIANCE; GENERAL LIABILITY POLICY OF AT LEAST ONE HUNDRED THOUSAND DOLLARS (\$100,000.00)
 - DOCUMENTATION OF WORK HISTORY (INCLUDE LETTER OF RECOMMENDATION FROM (3) THREEE PREVIOUS CONSTRUCTION JOBS.
5. **INFORMATION REQUEST FORM** (MUST BE SIGNED AND NOTARIZED)
6. **FEDERAL LABOR STANDARDS PROVISIONS** (Read)
7. **SECTION 3 BUISINESS CERTIFICATION FORM** (Fill out and read)
8. **RECONSTRUCTION BID FORM** (MUST BE PROVIDED IN BID FORM AND SIGNED)
9. PLANS (**REVIEW**)
10. **SPECIFICATIONS BY LOCATION/TRADE** (ALL SPECIFICATIONS MUST BE SUBMITTED WITH PRICING AND SIGNATURES.)
11. **PROOF OF NO DELIQUENT TAXES OWED TO WEBB COUNTY** (Must be signed)
12. **CONFLICT OF INTEREST** (Must be signed)
13. **CERTIFICATION OF DEBARRMENT** (Read)
14. **REFERENCES FORM** (Must be submitted)



**WEBB COUNTY
SELF-HELP CENTER
Bid Invitation**

Office: 8116 HWY 359

Laredo, Texas 78043

Phone (956) 728-1481

Fax: (956) 728-1483

Project # _____

Gentlemen:

The bid in compliance with the Notice to Bidders for construction of this project, having examined the plans, and specifications with related documents and having examined the site and all conditions affecting the work, I hereby propose to furnish all labor, materials, equipment and services to construct the projects indicated above in accordance with contract documents for the sum(s) listed above.

The bidder if awarded the contract agrees to commence work within ten (10) consecutive calendar days from date of Notice to Proceed.

It is understood that if accepted by Owner/Webb County reserves the right to reject any or all bids and waive irregularities, formalities, or to accept all bids considered advantageous.

The undersigned agrees that he will not withdraw this proposal for a period of forty-five (45) days from the date thereof.

Contractor's Name _____

Address _____

Phone _____

Signature

Date

Attention Contractor:

The Owner/Webb County reserves the right to select one contractor for each base bid.

INSTRUCTIONS TO BIDDERS FOR CONSTRUCTION

1. USE OF SEPARATE BID FORMS

These contract documents include a complete set of bid and contract forms which are for the convenience of the bidders and are not to be detached from the contract document, completed or executed. Separate bid forms are provided for your use.

2. INTERPRETATIONS OF ADDENDA

No oral interpretations will be made to any bidder. Each request for an interpretation shall be made in writing to the locality or engineer no less than seven (7) days prior to the bid opening. Each interpretation made will be in the form of an addendum to the contract documents and will be distributed to all parties holding contract documents no less than five (5) days prior to the bid opening. It is however, the bidder's responsibility to make inquiry as to any addenda issued. All such addenda shall become part of the contract documents and all bidders shall be bound by such addenda, whether or not received by the bidders.

3. INSPECTION OF SITE

Each bidder should visit the site of the proposed work and fully acquaint himself with the existing conditions there and should fully inform himself as to the facilities involved, the difficulties and restrictions attending the performance of the contract. The bidder should thoroughly examine and familiarize himself with the drawings, technical specifications and all the other contract documents. The contractor by the execution of the contract shall in no way be relieved of any obligation under it due to his failure to receive or examine any form of legal document or to visit the site of acquaint himself with the conditions there existing. The city/ county will be justified in rejecting any claim based on lack of inspections of the site prior to the bid.

4. ALTERNATE BID ITEMS

No alternate bids or items will be considered unless they are specifically requested by the technical specifications.

5. BIDS

- a. All bids submitted on the forms provided are subject to all requirements of the Contract Documents, including the Drawings.
- b. All bids must be regular in every respect and no interlineations, excisions or special conditions may be made or included by the bidder.
- c. Bid documents, including the bid, the bid bond, and the statement of bidders' qualifications shall be sealed in an envelope and clearly labeled with the words "Bid Documents", the project #, name of bidder, and the date and time of bid opening.
- d. Webb County may consider as irregular any bid on which there is an alteration of or departure from the bid form and, at its option reject any irregular bid.
- e. If a contract is awarded, it will be awarded to a responsible bidder on the basis of the lowest/best bid and the selected alternate bid items, if any. The contract will require the completion of the work in accordance with the contract documents.

6. BID MODIFICATIONS

- a. Any bidder may modify his bid by telegraphic communication at any time prior to the scheduled closing time for receipt of bids, provided such telegraphic communication is received by Webb County prior to the closing time, and provided further, Webb County is satisfied that a written confirmation of the telegraphic modification over the signature of the bidder was mailed prior to the closing time. The telegraphic communication should not reveal the bid price but should provide the addition, subtractions, or other modifications so that the final prices or terms will not be known by Webb County until the sealed bid is open. If written confirmation is not received within two (2) days from the closing time, no consideration will be given to the telegraphic modification.

INSTRUCTIONS TO BIDDERS FOR CONSTRUCTION

- b. Likewise, any bidder may modify a bid by submitting a supplemental bid in person prior to the scheduled closing time for receipt of bids. Such supplemental should mention only additions or subtractions to the original bid so as to not reveal the final prices or terms to the locality until the sealed bid is open.

7. BID BOND

- a. A bid bond in the amount of 5% of the base bid issued by an acceptable surety shall be submitted with each bid. A certified check or bank draft payable to the locality or negotiable U.S. Government Bonds.
- b. The bid bond or its comparable will be returned to the bidder as soon as practical after the opening of the bids.

8. STATEMENT OF BIDDERS QUALIFICATIONS

Each bidder shall submit on the form furnished for that purpose a statement of the bidders' qualifications. Webb County shall have the right to take such steps as it deems necessary to determine the ability of the bidder to perform his obligations under the contract, and the bidder shall furnish to Webb County all such information and data for the purpose as it may request. The right is reserved to reject any bid where an investigation of the available data does not satisfy Webb County that the bidder is qualified to carry out properly the terms of the contract.

9. UNIT PRICE

The unit price for each of the several items in the bid shall include its pro rata share of overhead so that the sum of the products obtained by multiplying the quantity shown for each item by the unit price bid represents the total bid. Any bid not conforming to these requirements may be rejected as informal. Special attention is drawn to this condition, as the unit prices will be used to determine the amount of any change orders resulting from an increase or decrease in quantities.

10. CORRECTIONS

Erasures or other corrections in the bid must be noted over the signature of the bidder.

11. TIME FOR RECEIVING BIDS

Bids received prior to the advertised hour of opening shall be kept securely sealed. The officer appointed to open the bids shall decide when the specified time has arrived and no bid received thereafter will be considered, except that when a bid arrives by mail after the time fixed for opening, but before the reading of all other bids is completed, and its shown to the satisfaction of Webb County that the late arrival of the bid was solely due to delay in the mail for which the bidder was not responsible, such bid will be received and considered.

12. OPENING OF BIDS

The locality shall, at the time and place fixed for the opening of bids, open each bid and publicly read it aloud, irrespective of any irregularities therein. Bidders and other interested individuals may be present.

13. WITHDRAWAL OF BIDS

Bidder may withdraw the bid before the time fixed for the opening of bids, by communicating his purpose in writing to Webb County. Upon receipt of such notice, the unopened bid will be returned to the bidder. The bid guaranty of any bidder withdrawing his bid will be returned promptly.

14. AWARD OF CONTRACT/REJECTION OF BIDS

- a. The contract will be awarded to the responsive, responsible bidder submitting the lowest/best bid. The bidder selected will be notified at the earliest possible date. Webb County reserves the

INSTRUCTIONS TO BIDDERS FOR CONSTRUCTION

right to reject any or all bids and to waive any informality in bids received where such rejection or waiver is in its interest.

- b. Webb County reserves the right to consider as unqualified to do the work any bidder who does not habitually perform with his own forces the major portions of the work involved in construction of the improvements embraced in this contract.

15. EXECUTION OF AGREEMENT/PERFORMANCE AND PAYMENT BONDS

- a. Performance and Payment Bonds, requires all prime contractor which enter into a formal contract in excess of \$25,000.00 with the State, any department, board, agency, municipality, county, school district or any division or subdivision thereof, to obtain a Payment Bond in the amount of the contract before commencing with work and a Performance Bond for public works contracts in excess of \$100,000.00.
- b. The failure of the successful bidder to execute the agreement and supply the required bonds within ten (10) days after the prescribed forms are presented for signature, or within such extended period such as Webb County may grant, shall constitute a default and Webb County, may at its option either award the contract to the next lowest responsible bidder or re-advertise for bids. In either case, Webb County may charge against the bidder the difference between the amount of the bid, and the amount for which a contract is subsequently executed irrespective of whether this difference exceeds the amount of the bid-bond. If a more favorable bid is received through re-advertisement, the defaulting bidder shall have no claim against Webb County for a refund.

16. WAGES AND SALARIES

Attention is particularly called to the requirement of paying not less than the prevailing Davis Bacon Related Act (DBRA) wage rates specified in the Contract Documents. These rates are minimums to be paid during the life of the contract. It is therefore the responsibility of the Bidder to inform themselves as to local labor conditions.

17. EQUAL EMPLOYMENT OPPORTUNITY

Attention is called to the requirements for ensuring that employees and applicants for employment are not discriminated against because of their race, color, creed, sex, or national origin.

CONTRACTOR ELIGIBILITY REQUIREMENTS

In order to qualify for bidding on any Webb County Housing Assistance projects, contractors must provide the following:

1. Proof of Financial Capacity and Credit History (include letter of reference from bank).
2. Proof of insurance compliance. General Liability Policy of at least one hundred thousand dollars (\$100,000.00).
3. Documentation of work history (include letter of recommendation from previous construction jobs).

Please provide all information requested PRIOR to bid opening date. For additional information please contact Arnoldo Cervantes, Construction Coordinator @ (956)728-1481.

IMPORTANT NOTICE

Contractors must fill out all forms in bid packet. It is important that contractors fill out the Bid Price Form in itemized form, since all payment will be paid per item according to Bid Price Form.

Applicability

The Project or Program to which the construction work covered by this contract pertains is being assisted by the United States of America and the following Federal Labor Standards Provisions are included in this Contract pursuant to the provisions applicable to such Federal assistance.

A. 1. (i) **Minimum Wages.** All laborers and mechanics employed or working upon the site of the work, will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR Part 3), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under Section 1(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of 29 CFR 5.5(a)(1)(iv); also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs, which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period.

Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: Provided, That the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under 29 CFR 5.5(a)(1)(ii) and the Davis-Bacon poster (WH-1321) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible, place where it can be easily seen by the workers.

(ii) (a) Any class of laborers or mechanics which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. HUD shall approve an additional classification and wage rate and fringe benefits therefor only when the following criteria have been met:

(1) The work to be performed by the classification requested is not performed by a classification in the wage determination; and

(2) The classification is utilized in the area by the construction industry; and

(3) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

(b) If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and HUD or its designee agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by HUD or its designee to the Administrator of the Wage and Hour Division, Employment Standards Administration, U.S. Department of Labor, Washington, D.C. 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary. (Approved by the Office of Management and Budget under OMB control number 1215-0140.)

(c) In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and HUD or its designee do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), HUD or its designee shall refer the questions, including the views of all interested parties and the recommendation of HUD or its designee, to the Administrator for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary. (Approved by the Office of Management and Budget under OMB Control Number 1215-0140.)

(d) The wage rate (including fringe benefits where appropriate) determined pursuant to subparagraphs (1)(ii)(b) or (c) of this paragraph, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.

(iii) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.

(iv) If the contractor does not make payments to a trustee or other third person, the contractor may consider as part

of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program, Provided, That the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program. (Approved by the Office of Management and Budget under OMB Control Number 1215-0140.)

2. **Withholding.** HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld from the contractor under this contract or any other Federal contract with the same prime contractor, or any other Federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract in the event of failure to pay any laborer or mechanic, including any apprentice, trainee or helper, employed or working on the site of the work, all or part of the wages required by the contract, HUD or its designee may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased. HUD or its designee may, after written notice to the contractor, disburse such amounts withheld for and on account of the contractor or subcontractor to the respective employees to whom they are due. The Comptroller General shall make such disbursements in the case of direct Davis-Bacon Act contracts.

3. (i) **Payrolls and basic records.** Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work. Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in Section 1(b)(2)(B) of the Davis-bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the Secretary of Labor has found under 29 CFR 5.5 (a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in Section 1(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been

communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs. (Approved by the Office of Management and Budget under OMB Control Numbers 1215-0140 and 1215-0017.)

(ii) (a) The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to HUD or its designee if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit the payrolls to the applicant sponsor, or owner, as the case may be, for transmission to HUD or its designee. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i) except that full social security numbers and home addresses shall not be included on weekly transmittals. Instead the payrolls shall only need to include an individually identifying number for each employee (e.g., the last four digits of the employee's social security number). The required weekly payroll information may be submitted in any form desired. Optional Form WH-347 is available for this purpose from the Wage and Hour Division Web site at <http://www.dol.gov/esa/whd/forms/wh347inslr.htm> or its successor site. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. Contractors and subcontractors shall maintain the full social security number and current address of each covered worker, and shall provide them upon request to HUD or its designee if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit the payrolls to the applicant sponsor, or owner, as the case may be, for transmission to HUD or its designee, the contractor, or the Wage and Hour Division of the Department of Labor for purposes of an investigation or audit of compliance with prevailing wage requirements. It is not a violation of this subparagraph for a prime contractor to require a subcontractor to provide addresses and social security numbers to the prime contractor for its own records, without weekly submission to HUD or its designee. (Approved by the Office of Management and Budget under OMB Control Number 1215-0149.)

(b) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

(1) That the payroll for the payroll period contains the information required to be provided under 29 CFR 5.5 (a)(3)(ii), the appropriate information is being maintained under 29 CFR 5.5(a)(3)(i), and that such information is correct and complete;

(2) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in 29 CFR Part 3;

(3) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.

(c) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by subparagraph A.3.(ii)(b).

(d) The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution under Section 1001 of Title 18 and Section 231 of Title 31 of the United States Code.

(iii) The contractor or subcontractor shall make the records required under subparagraph A.3.(i) available for inspection, copying, or transcription by authorized representatives of HUD or its designee or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, HUD or its designee may, after written notice to the contractor, sponsor, applicant or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

4. Apprentices and Trainees.

(i) Apprentices. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who

is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(ii) Trainees. Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by

the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(iii) **Equal employment opportunity.** The utilization of apprentices, trainees and journeymen under 29 CFR Part 5 shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR Part 30.

5. Compliance with Copeland Act requirements. The contractor shall comply with the requirements of 29 CFR Part 3 which are incorporated by reference in this contract

6. Subcontracts. The contractor or subcontractor will insert in any subcontracts the clauses contained in subparagraphs 1 through 11 in this paragraph A and such other clauses as HUD or its designee may by appropriate instructions require, and a copy of the applicable prevailing wage decision, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all the contract clauses in this paragraph.

7. Contract termination; debarment. A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.

8. Compliance with Davis-Bacon and Related Act Requirements. All rulings and interpretations of the Davis-Bacon and Related Acts contained in 29 CFR Parts 1, 3, and 5 are herein incorporated by reference in this contract

9. Disputes concerning labor standards. Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR Parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and HUD or its designee, the U.S. Department of Labor, or the employees or their representatives.

10. (i) Certification of Eligibility. By entering into this contract the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of Section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be

awarded HUD contracts or participate in HUD programs pursuant to 24 CFR Part 24.

(ii) No part of this contract shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of Section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR Part 24.

(iii) The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001. Additionally, U.S. Criminal Code, Section 1 01 0, Title 18, U.S.C., "Federal Housing Administration transactions", provides in part: "Whoever, for the purpose of . . . influencing in any way the action of such Administration..... makes, utters or publishes any statement knowing the same to be false..... shall be fined not more than \$5,000 or imprisoned not more than two years, or both."

11. Complaints, Proceedings, or Testimony by Employees. No laborer or mechanic to whom the wage, salary, or other labor standards provisions of this Contract are applicable shall be discharged or in any other manner discriminated against by the Contractor or any subcontractor because such employee has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable under this Contract to his employer.

B. Contract Work Hours and Safety Standards Act. The provisions of this paragraph B are applicable where the amount of the prime contract exceeds \$100,000. As used in this paragraph, the terms "laborers" and "mechanics" include watchmen and guards.

(1) **Overtime requirements.** No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which the individual is employed on such work to work in excess of 40 hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of 40 hours in such workweek.

(2) **Violation; liability for unpaid wages; liquidated damages.** In the event of any violation of the clause set forth in subparagraph (1) of this paragraph, the contractor and any subcontractor responsible therefor shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in subparagraph (1) of this paragraph, in the sum of \$10 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of 40 hours without payment of the overtime wages required by the clause set forth in subparagraph (1) of this paragraph.

(3) **Withholding for unpaid wages and liquidated damages.** HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any moneys payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contract, or any other Federally-assisted contract subject to the Contract Work Hours and Safety Standards Act which is held by the same prime contractor such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in subparagraph (2) of this paragraph.

(4) **Subcontracts.** The contractor or subcontractor shall insert in any subcontracts the clauses set forth in subparagraph (1) through (4) of this paragraph and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in subparagraphs (1) through (4) of this paragraph.

C. Health and Safety. The provisions of this paragraph C are applicable where the amount of the prime contract exceeds \$100,000.

(1) No laborer or mechanic shall be required to work in surroundings or under working conditions which are unsanitary, hazardous, or dangerous to his health and safety as determined under construction safety and health standards promulgated by the Secretary of Labor by regulation.

(2) The Contractor shall comply with all regulations issued by the Secretary of Labor pursuant to Title 29 Part 1926 and failure to comply may result in imposition of sanctions pursuant to the Contract Work Hours and Safety Standards Act, (Public Law 91-54, 83 Stat 96). 40 USC 3701 et seq.

(3) The contractor shall include the provisions of this paragraph in every subcontract so that such provisions will be binding on each subcontractor. The contractor shall take such action with respect to any subcontractor as the Secretary of Housing and Urban Development or the Secretary of Labor shall direct as a means of enforcing such provisions.

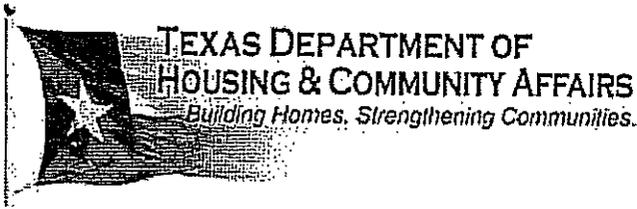
Code of Federal Regulations

Title 24 - Housing and Urban Development

Volume: 1 Date: 2003-04-01 Original Date: 2003-04-01 Title: Section 135.38 - Section 3 clause. Context: Title 24 - Housing and Urban Development. Subtitle B - Regulations Relating to Housing and Urban Development. CHAPTER I - OFFICE OF ASSISTANT SECRETARY FOR EQUAL OPPORTUNITY, DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. SUBCHAPTER B - EMPLOYMENT AND BUSINESS OPPORTUNITY. PART 135 - ECONOMIC OPPORTUNITIES FOR LOW- AND VERY LOW-INCOME PERSONS. Subpart B - Economic Opportunities for Section 3 Residents and Section 3 Business Concerns.

§ 135.38 Section 3 clause. All section 3 covered contracts shall include the following clause (referred to as the section 3 clause): A. The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing. B. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations. C. The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin. D. The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

E. The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135. F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts. G. With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).



**SECTION 3
BUSINESS CERTIFICATION
FOR THOSE SEEKING
PREFERENCE IN CONTRACTING AND
DEMONSTRATION OF CAPABILITY**

Name of Business: _____

Address of Business: _____

Type of Business: Corporation Partnership Sole Proprietorship
 Joint Venture Non-Profit Consortium

**Attach the following documentation as evidence of Section 3 eligible status:
(Definition of "Section 3 business concern" in 24 CFR 135 describes three alternative qualifications.)**

For Business claiming status as a Section 3 resident-owned enterprise:

- Copy of resident lease Copy of receipt of public assistance
- Copy of evidence of participation in a public assistance program
- Other evidence

For business entity as applicable:

- Copy of Articles of Incorporation Certificate of Good Standing
- Assumed Business Name Certificate Partnership Agreement
- List of owners/stockholders and % ownership of each appointing officers
- Corporation Annual Report Latest Board minutes
- Organization chart with names and titles and brief function statement
- Additional documentation

If claiming Section 3 status by subcontracting 25 percent of the dollar awarded to qualified Section 3 business:

- List of subcontracted Section 3 business(es) and subcontract amount

If basing Section 3 status by claiming at least 30 percent of workforce qualifies as current Section 3 residents or Section 3 eligible within 3 years of date of first employment with the business:

- List of all current full-time employees List of employees claiming Section 3 status
- PHA/IHA Residential lease less than 3 years from day of employment
- Other evidence of Section 3 status less than 3 years from date of employment

Evidence of ability to perform successfully under the terms and conditions of the proposed contract:

- Current financial statement Statement of ability to comply with public policy
- List of owned equipment List of all contracts for the past two years

Authorizing Name and Signature

Attested by:



**SECTION 3
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- Current financial statement Statement of ability to comply with public policy
- List of owned equipment List of all contracts for the past two years

Authorizing Name and Signature

Attested by:

CERTIFICATION REGARDING FEDERAL LOBBYING
(Certification for Contracts, Grants, Loans, and Cooperative Agreements)

PART A. PREAMBLE

Federal legislation, Section 319 of Public Law 101-121 generally prohibits entities from using federally appropriated funds to lobby the executive or legislative branches of the federal government. Section 319 specifically requires disclosure of certain lobbying activities. A federal government-wide rule, "New Restrictions on Lobbying", published in the Federal Register, February 26, 1990, requires certification and disclosure in specific instances.

PART B. CERTIFICATION

This certification applies only to the instant federal action for which the certification is being obtained and is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$100,000 for each such failure.

The undersigned certifies, to the best of his or her knowledge and belief, that:

1. No federally appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a member of Congress, an officer or employee of Congress, or an employee of a member of Congress in connection with the awarding of any federal contract, the making of any federal grant, the making of any federal loan, the entering into of any cooperative agreement, or the extension, continuation, renewal, amendment, or modification of any federal contract, grant, loan, or cooperative agreement.
2. If any funds other than federally appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a member of Congress, an officer or employee of Congress, or an employee of a member of Congress in connection with these federally funded contract, subcontract, subgrant, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying", in accordance with its instructions. (If needed, contact the Texas Department of Agriculture to obtain a copy of Standard Form-LLL.)

3. The undersigned shall require that the language of this certification be included in the award documents for all covered subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all covered subrecipients will certify and disclose accordingly.

Do you have or do you anticipate having covered subawards under this transaction?

- Yes
- No

Name of Contractor/Potential Contractor	Vendor ID No. or Social Security No.	Program No.
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Name of Authorized Representative	Title
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Signature – Authorized Representative

Date

CERTIFICATION
REGARDING DEBARMENT, SUSPENSION, INELIGIBILITY AND VOLUNTARY
EXCLUSION FOR COVERED CONTRACTS

PART A.

Federal Executive Orders 12549 and 12689 require the Texas Department of Agriculture (TDA) to screen each covered potential contractor to determine whether each has a right to obtain a contract in accordance with federal regulations on debarment, suspension, ineligibility, and voluntary exclusion. Each covered contractor must also screen each of its covered subcontractors.

In this certification "contractor" refers to both contractor and subcontractor; "contract" refers to both contract and subcontract.

By signing and submitting this certification the potential contractor accepts the following terms:

1. The certification herein below is a material representation of fact upon which reliance was placed when this contract was entered into. If it is later determined that the potential contractor knowingly rendered an erroneous certification, in addition to other remedies available to the federal government, the Department of Health and Human Services, United States Department of Agriculture or other federal department or agency, or the TDA may pursue available remedies, including suspension and/or debarment.
2. The potential contractor will provide immediate written notice to the person to which this certification is submitted if at any time the potential contractor learns that the certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
3. The words "covered contract", "debarred", "suspended", "ineligible", "participant", "person", "principal", "proposal", and "voluntarily excluded", as used in this certification have meanings based upon materials in the Definitions and Coverage sections of federal rules implementing Executive Order 12549. Usage is as defined in the attachment.
4. The potential contractor agrees by submitting this certification that, should the proposed covered contract be entered into, it will not knowingly enter into any subcontract with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the Department of Health and Human Services, United States Department of Agriculture or other federal department or agency, and/or the TDA, as applicable.

Do you have or do you anticipate having subcontractors under this proposed contract?

Yes

No



Webb County Housing RECONSTRUCTION Bid Form

Office: 8116 HWY 359
Laredo, Texas 78043
Phone (956) 728-1481
Fax: (956) 728-1483

Project # _____

Name: **Ester Gonzalez**
Address: 6828 Desperado
Laredo, Texas 78043
Colonia Tanquecitos I

Phone# _____

Total Bid Amount _____

Time of Completion: _____

Alternatives:

1. Materials: _____

2. Labor: _____

3. Materials: _____

4. Labor: _____

Contractors Name _____

Address _____

Phone # _____

Signature _____ Date _____

SPECS BY LOCATION/TRADE

4/2/2015

Pre-Bid Site Visit: _____
 Bidding Open Date: _____
 Bidding Close Date: _____
 Initial: _____

Case Number: SHC-009
 Project Manager: Arnoldo Cervantes
 Phone: 956-728-1481

Address: 6828 Desperado Road **Unit:** Unit 01

Location: 1 - GENERAL REQUIREMENTS **Approx. Wall SF:** 0 **Ceiling/Floor SF:** 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1 General Requirements					
10	OWNER ACCEPTS SCOPE OF WORK The undersigned applicant(s) certifies that he/she has participated in the development of this Work Write Up (WWU) with the "Date Inspected" date of _____ & referred to as Exhibit 1. After careful review the applicant understands & accepts the work described & has initialed & dated each page of this WWU. x _____ x _____ Applicant Date Applicant Date	1.00	DU	_____	_____
14	CONTRACTOR ACCEPTS SCOPE OF WORK The undersigned contractor certifies that he/she has carefully reviewed & agrees to perform the work described in this Work Write Up (WWU) with the "Date Inspected" date of _____ & referred to as Exhibit 1. The contractor shall initial & date each page of the WWU. x _____ Contractor Date	1.00	DU	_____	_____
24	MANUFACTURER'S SPECS PREVAIL All materials shall be installed in full accordance with the manufacturer's specifications for working conditions, surface preparation, methods, protection and testing.	1.00	GR	_____	_____
31	CONSTRUCTION DEFINITIONS "Install" means to purchase, set up, test and warrant a new component. "Replace" means to remove and dispose of original material, purchase new material, deliver, install, test and warrant. "Repair" means to return a building component to like new condition through replacement, adjustment and recoating of parts. "Reinstall" means to remove, clean, store and install a component.	1.00	GR	_____	_____
35	VERIFY QUANTITIES/MEASUREMENTS All Quantities stated in the attached specifications for this address using Units of Measure other than Each (EA), Room (RM) or Dwelling Unit (DU) (e.g. SF of Drywall) are for the contractor's convenience and must be verified by the contractor at a mandatory site inspection prior to bid submission. All quantities stated in the Units of Measure Each (EA), Room (RM) or Dwelling Unit (DU) are as stated. Discrepancies in Quantities found by the contractor must be communicated to the Housing Rehabilitation Specialist prior to the submission of a bid. Claims for additional funds due to discrepancies in Quantities shall not be honored if submitted after the bid submission.	1.00	GR	_____	_____
45	CONTRACTOR PRE-BID SITE VISIT	1.00	DU	_____	_____

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				
	The contractor must inspect the property. Submission of a bid is presumptive evidence that the bidder has thoroughly examined the site and is conversant with the requirements of the local jurisdiction.				
55	WORK TIMES Contractors and their Subcontractors shall schedule working hours between 8:00am and 6:00pm Monday through Friday. Requests to work on weekends and before or after these hours must be approved by the homeowner.	1.00	GR		
77	NEW MATERIALS REQUIRED All materials used in connection with this work write-up are to be new, of first quality and without defects - unless stated otherwise or pre-approved by Owner and Construction Specialist.	1.00	GR		
86	HOLD HARMLESS The contractor will defend, indemnify and hold harmless the Agency, its officers and employees from liability and claim for damages or loss and expenses arising from the contractor's operations under this contract.	1.00	GR		
90	1 YEAR GENERAL WARRANTY Contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appear within one year from final payment. Further, contractor shall furnish owner with all manufacturers' and suppliers' written warranties covering items furnished under this contract prior to release of the final payment.	1.00	DU		
95	PORTABLE TOILET Provide temporary toilet facilities from job start until approval of permanent facilities.	3.00	MO		
115	PERIODICALLY REMOVE DEBRIS The contractor shall clean construction debris from the dwelling and site to a dumpster every day and to a legal landfill at least once each week, and leave the property in broom clean condition.	1.00	DU		
120	FINAL CLEAN Remove from site all construction materials, tools and debris. Sweep clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags. Clean all windows referenced in specifications.	1.00	DU		
Custom	CONTRACTOR RESPONSIBILITY ALL WORK SPECIFICATIONS AND DESCRIPTIONS WILL HAVE TO BE PROVIDED BY CONTRACTOR AT THE TIME OF BID OPENING. SPECIFICATIONS AND DESCRIPTIONS MUST REFLECT PLANS PROVIDED BY ARCHITECT. ALL FOUNDATION WORK MUST REFLECT RESULTS OF STRUCTURAL ENGINEERS DESIGN, AND GEO TECHNICAL EXAM. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON ALL LOCATIONS OF THIS WORK WRITE UP.	1.00	EA		

Location: 1 - GENERAL REQUIREMENTS

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				

Location Total: _____

Location: 2 - SITE WORK

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 4	Site Work				

550	REGRADE FOUNDATION AREA Regrade foundation area by removing 6" of top soil to assure removal of any green foliage. Refill and regrade with sandy loam type soil. Grade must be graded away from home and to the street or road.	50.00	CY		
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Trade: 5 Demolition & Disposal

Custom	DEMOLITION OF EXISTING WOOD HOME Contractor must demolish existing wood home (750sf) and foundation before start of reconstruction project. Contractor is responsible for disposal of debris according to City of Laredo ordinance.	1.00	EA		
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Trade: 6 Concrete & Paving

Custom	FOUNDATION PAD Build a 1100 SF. foundation pad for according to existing conditions and according to engineers recommendations. Materials for pad must reflect proctor and Geo technical exams. Pad must be elevated 8" above grade level.	80.00	CY		
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Trade: 24 Extermination

Custom	PRETREATMENT INSECTICIDE Apply Pretreatment Pesticide to foundation pad. Pesticide must be applied by a professional licensed company.	1.00	EA		
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Trade: 300 Concrete (CSI)

Custom	SOIL COMPACTION EXAMS A minimum of three (3) compaction test must be performed on foundation pad as compaction of pad is in progress. Minimum of (1) one test per every 8" lift. Each lift will require minimum 95% compaction. Contractor must provide copies of each passed exam.	3.00	EA		
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Location Total: _____

Location: 3 - FOUNDATION/CONCRETE SLAB

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Location: 3 - FOUNDATION/CONCRETE SLAB

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22 Plumbing					
Custom	PLUMBING ROUGH IN Install all sch40 for sewer rough in plumbing for commode, shower, vanity, kitchen sink, and HVAC drain. All sewer lines to be 4" schedule 40 pvc pipe. After installation install air meter for air pressure test and inspection. All plumbing must be installed by a texas certified/licensed master plumber. All plumbing must meet 2006 IRC Plumbing Codes. All water supply must be color coded pex plumbing and provided for all plumbing fixtures. Pex Plumbing installation must meet 2006 IRC Plumbing Codes and installed by a Master Plumber.	1.00	EA	_____	_____
Trade: 300 Concrete (CSI)					
901	**FLATWORK** All flatwork must be completed according to plans provided by Architect, and Contractor must build a no step entry platform at front entrance of home. 6'x4'x4"	1.00	EA	_____	_____
Custom	FOUNDATION STRUCTURE/FORMWORK Contractor is responsible for all concrete forms, trenching ditches, Visqueen moisture barrier american rebar size, and structure to be built and completed according to engineer's foundation design. ASTM Standards must comply.	1.00	EA	_____	_____
Custom	FOUNDATION CONCRETE POUR Contractor is responsible for assuring that concrete pour is in accordance with Engineers desired measures for mix, slump, and PSI. A State of Texas certified engineener is required to recommend concrete mix.	28.00	CY	_____	_____

Location Total: _____

Location: 4 - ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
2930	WINDOW--ALUM SGL HNG/DBL GLZ Field measure, fabricate and install a white, single hung, one-over-one, double glazed, thermal break, enameled aluminum replacement window including all necessary panning, caulk, trim and screen. 1x2 bathroom window and 3x3 kitchen window. All other windows must meet Egress Fire Codes size (30/50).	5.00	EA	_____	_____
Custom	EXTERIOR DOOR Provide and install one exterior 36" fan light SH energy star metal insulated door, with casing, door trim, and combo single keyed hardware.	1.00	EA	_____	_____
Custom	ROUGH WALL FRAMING Contractor must build wall framing with foam 2"x4" treated sole plates, 2"x4" wall stud"s at 16" on center. (2) 2"x4" top plates. All window and door headers must be 2"x6" s.	768.00	SF	_____	_____

Location: 4- ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
Custom	EXTERIOR WALL CLADDING Apply 5/8" T1-11 Siding to exterior perimeter walls. Apply 1"x4" trim to outside corners, doors, and windows.	768.00	SF	_____	_____
Custom	EXTERIOR SHEATHING Apply 1/2" insulation sheathing in all perimeter walls of home. Enclose insulation sheathing with vapor barrier #30 felt paper or tyvek type paper.	768.00	SF	_____	_____
Custom	ROOF SHEATHING Apply 1/2" or 7/16" osb roof sheathing (decking) according to Architect's recommendations. Protect sheathing by applying #30 black felt paper.	576.00	SF	_____	_____
Custom	ROOF FRAMING BUILD ROOF FRAME ACCORDING TO ARCHITECTURAL PLANS.	240.00	SF	_____	_____
Trade: 15 Roofing					
Custom	ROOF SHINGLES Apply 25 yr. 3 tab asphalt shingles according to manufactures recommendations.	9.00	SQ	_____	_____
Trade: 19 Paint & Wallpaper					
Custom	EXTERIOR TRIM PAINT Primer, and Paint all exterior corner trim, window trim, ext. doors, door trim, and with one coat of primer and two coats of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	180.00	LF	_____	_____
Custom	EXTERIOR PAINT CLADDING Primer, and Paint all exterior cladding with two coats of primer and one coat of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	768.00	SF	_____	_____
Trade: 21 HVAC					
Custom	HVAC ROUGH IN Install all HVAC interior unit, duct work, build HVAC interior platform and run refrigerant copper line.	1.00	EA	_____	_____
Trade: 22 Plumbing					
Custom	PLUMBING TOP OUT Cap all existing rough in plumbing. Sewer and water plumbing lines must be completed for plumbing fixture installation. Include completed installation of of all sewer vents and HVAC drain. A top out inspection will be conducted prior to installation of	1.00	EA	_____	_____

Location: 4-ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				
	Drywall.				

Trade: 23 Electric

Custom ELECTRICAL ROUGH IN

1.00 EA

Install all electrical, romex wiring for receptacles, switches, and light fixtures. Include installation of receptacle boxes, switch boxes, and light fixture boxes. Lastly installation of circuit breaker panel. Include naming of all wiring. All Electrical work must meet NEC requirements and installed by a state of Texas certified electrician.

Location Total: _____

Location: 5-INTERIOR

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
2407	BASEBOARD--COLONIAL 2 1/4"	184.00	LF		
	Install finger jointed WM-626fj 9/16" x 2-1/4" colonial base with finish nails of sufficient length to penetrate framing 1". Mitre all lap joints, and break all lap joints over framing.				
3362	DOOR--PREHUNG PASSAGE--SOLID JAMB	3.00	EA		
	Install a 1-3/8" prehung, hollow core door with a solid jamb including casing both sides, 2 butt hinges and a privacy lockset.				
3375	DOOR--WOOD BIFOLD	2.00	EA		
	Hang a flush, hollow core, wood bifold door including overhead track, all hardware and casing on one side, plumb and centered within the opening.				
4160	CLOSET--BEDROOM	1.00	EA		
	Construct a closet in bedroom along wall as indicated on plans. Hang a louvered pine bifold door including overhead track and hardware. Install a 1"x 12" plywood shelf, 1-3/8" hanger rod.				
Custom	WALL CABINETS	11.00	LF		
	Provide and install approximately 11 lf of wood wall cabinets for kitchen area. Colors to be chosen by owner.				
Custom	COUNTER TOP	6.00	LF		
	Install approximately 6lf of formica counter tops for kitchen base cabinets. Color will be chosen by owner. A four color earth tone sample will be provided by contractor.				
Custom	BASE CABINETS	6.00	LF		
	Install approximately 6lf of wood base cabinets for kitchen area.				

Trade: 17 Drywall & Plaster

Custom 1/2" DRYWALL

80.00 EA

Apply 1/2"x4'x8' gypsum board on wall and ceiling with 1 5/8"

Location: 5- INTERIOR

Approx Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 17	Drywall & Plaster				
	phosphate coated drywall nails. Moisture proof drywall required on entire bathroom				
Trade: 19	Paint & Wallpaper				
Custom	TAPE, FLOAT, SAND, AND TEXTURE	300.00	LF		
	Apply three applications of joint compound cement with tape to all gypsum board joints. Sand, and monterrey texture walls and ceilings.				
Custom	INTERIOR TRIM PAINT	1.00	EA		
	Primer, and Paint all interior base molding, door trim, interior doors with two coats of primer and one coat of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.				
Custom	INTERIOR PAINT	568.00	SF		
	Primer, and Paint all interior walls and ceilings with one coat of primer and two coats of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.				
Trade: 20	Floor Coverings				
5915	VINYL COMPOSITION TILE	570.00	SF		
	Install 12"x12"x1/8" vinyl composition tile, by Armstrong or Azrock per manufacturer's recommendations. Include metal edge strips at openings, and shoe molding or 4" vinyl base around perimeter. Owner's choice of in-stock color.				
Trade: 22	Plumbing				
6835	SINK--DOUBLE BOWL COMPLETE	1.00	EA		
	Install a 22 gauge 33" x 22" x 7" double bowl, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, full port ball type shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered (no compression fittings) & all PVC fittings glued.				
6901	VANITY--30" COMPLETE	1.00	EA		
	Install a 30" plywood vanity; including top with backsplash, wash bowl and single lever brass bodied chrome faucet with a maximum 1.5 GPM flow rate equal to Delta. Include PVC drain attached to a code legal plumbing vent, use type L copper or PEX supply piping with brass bodied stops on all supply lines. Seal all penetration through the floor, walls and cabinet for plumbing connections using expanding foam or caulk and cover with chrome eschucion plates.				
6965	SHOWERSTALL--FIBERGLASS	1.00	EA		
	Install a 36"x36" one piece, fiberglass showerstall including PVC				

Location: 5- INTERIOR

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				
	waste, molded base, metal two handle shower diverter, shower rod and Delta 6122 shower head. Include supports for future grab bar installation.				
Trade: 23	Electric				
7810	SMOKE DETECTOR--HARD WIRED--BATTERY BACK-UP Install a UL approved, ceiling mounted smoke and heat detector permanently wired into a receptacle box with battery back-up.	4.00	EA		
Custom	ELECTRICAL Installation of receptacles, GCI receptacles, light switches.	1.00	EA		
Trade: 1000	Specialties (CSI)				
Custom	ATTIC INSULATION R30 Apply Blown Cellulose Insulation to entire attic space.	568.00	SF		
Custom	WALL INSULATION Install R13 wall insulation according manufacturer's requirements on perimeter walls of building. (Approx. 544 sf.)	768.00	SF		

Location Total: _____

Location: 6- FINAL

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 21	HVAC				
Custom	HVAC FINAL Install all HVAC vent grills, thermostat and start up HVAC system for final inspection.	1.00	EA		
Trade: 22	Plumbing				
Custom	PLUMBING FINAL Install plumbing fixtures and include all accessories and water supply lines. Must also include installation of anti-backflow hose bibb. All fixtures must be in working order.	1.00	EA		
Trade: 23	Electric				
Custom	ELECTRICAL FINAL Install receptacle cover plates, switch cover plates, ceiling fans, light fixtures interior and exterior. Order reconnection of permanent light.	1.00	EA		

Location Total: _____

Unit Total for 6828 Desperado Road, Unit Unit 01: _____

Address Grand Total for 68 Desperado Road: _____

Bidder: _____



Webb County Housing RECONSTRUCTION Bid Form

Office: 8116 HWY 359
Laredo, Texas 78043
Phone (956) 728-1481
Fax: (956) 728-1483

Project # _____

Name: **Ana Palacios**
Address: 125 W. Ibarra
Laredo, Texas 78043
Colonia Pueblo Nuevo

Phone# _____

Total Bid Amount _____

Time of Completion: _____

Alternatives:

1. Materials: **Interior Paint-**
2. Labor: **Interior Painting-**
3. Materials: **Refrigerator-**
4. Materials: **Stove-**
5. Labor: **Refrigerator**
6. Labor: **Stove**

Contractors Name _____

Address _____

Phone # _____

Signature _____ Date _____

SPECS BY LOCATION/TRADE

4/2/2015

Pre-Bid Site Visit: _____
 Bidding Open Date: _____
 Bidding Close Date: _____
 Initial: _____

Case Number: SHC-0011
 Project Manager: Arnoldo Cervantes
 Phone: 956-728-1481

Address: 125 W Ibarra Road	Unit: Unit 01
Location: 1- GENERAL REQUIREMENTS	Approx. Wall SF: 0 Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				
10	OWNER ACCEPTS SCOPE OF WORK The undersigned applicant(s) certifies that he/she has participated in the development of this Work Write Up (WWU) with the "Date Inspected" date of _____ & referred to as Exhibit 1. After careful review the applicant understands & accepts the work described & has initialed & dated each page of this WWU. x _____ Date x _____ Date Applicant Date Applicant Date	1.00	DU	_____	_____
14	CONTRACTOR ACCEPTS SCOPE OF WORK The undersigned contractor certifies that he/she has carefully reviewed & agrees to perform the work described in this Work Write Up (WWU) with the "Date Inspected" date of _____ & referred to as Exhibit 1. The contractor shall initial & date each page of the WWU. x _____ Date Contractor Date	1.00	DU	_____	_____
24	MANUFACTURER'S SPECS PREVAIL All materials shall be installed in full accordance with the manufacturer's specifications for working conditions, surface preparation, methods, protection and testing.	1.00	GR	_____	_____
31	CONSTRUCTION DEFINITIONS "Install" means to purchase, set up, test and warrant a new component. "Replace" means to remove and dispose of original material, purchase new material, deliver, install, test and warrant. "Repair" means to return a building component to like new condition through replacement, adjustment and recoating of parts. "Reinstall" means to remove, clean, store and install a component.	1.00	GR	_____	_____
35	VERIFY QUANTITIES/MEASUREMENTS All Quantities stated in the attached specifications for this address using Units of Measure other than Each (EA), Room (RM) or Dwelling Unit (DU) (e.g. SF of Drywall) are for the contractor's convenience and must be verified by the contractor at a mandatory site inspection prior to bid submission. All quantities stated in the Units of Measure Each (EA), Room (RM) or Dwelling Unit (DU) are as stated. Discrepancies in Quantities found by the contractor must be communicated to the Housing Rehabilitation Specialist prior to the submission of a bid. Claims for additional funds due to discrepancies in Quantities shall not be honored if submitted after the bid submission.	1.00	GR	_____	_____
45	CONTRACTOR PRE-BID SITE VISIT	1.00	DU	_____	_____

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				
	The contractor must inspect the property. Submission of a bid is presumptive evidence that the bidder has thoroughly examined the site and is conversant with the requirements of the local jurisdiction.				
55	WORK TIMES Contractors and their Subcontractors shall schedule working hours between 8:00am and 6:00pm Monday through Friday. Requests to work on weekends and before or after these hours must be approved by the homeowner.	1.00	GR		
77	NEW MATERIALS REQUIRED All materials used in connection with this work write-up are to be new, of first quality and without defects - unless stated otherwise or pre-approved by Owner and Construction Specialist.	1.00	GR		
86	HOLD HARMLESS The contractor will defend, indemnify and hold harmless the Agency, its officers and employees from liability and claim for damages or loss and expenses arising from the contractor's operations under this contract.	1.00	GR		
90	1 YEAR GENERAL WARRANTY Contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appear within one year from final payment. Further, contractor shall furnish owner with all manufacturers' and suppliers' written warranties covering items furnished under this contract prior to release of the final payment.	1.00	DU		
95	PORTABLE TOILET Provide temporary toilet facilities from job start until approval of permanent facilities.	3.00	MO		
115	PERIODICALLY REMOVE DEBRIS The contractor shall clean construction debris from the dwelling and site to a dumpster every day and to a legal landfill at least once each week, and leave the property in broom clean condition.	1.00	DU		
120	FINAL CLEAN Remove from site all construction materials, tools and debris. Sweep clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags. Clean all windows referenced in specifications.	1.00	DU		
Custom	CONTRACTOR RESPONSIBILITY ALL WORK SPECIFICATIONS AND DESCRIPTIONS WILL HAVE TO BE PROVIDED BY CONTRACTOR AT THE TIME OF BID OPENING. SPECIFICATIONS AND DESCRIPTIONS MUST REFLECT PLANS PROVIDED BY ARCHITECT. ALL FOUNDATION WORK MUST REFLECT RESULTS OF STRUCTURAL ENGINEERS DESIGN, AND GEO TECHNICAL EXAM. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON ALL LOCATIONS OF THIS WORK WRITE UP.	1.00	EA		

Location: 1 - GENERAL REQUIREMENTS

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				

Trade: 25 Appliances

8440	ELECTRIC STOVE--30" Install a white, 30" wide electric stove including oven and electrical connections.	1.00	EA		
8475	REFRIGERATOR--18 CF--ENERGY STAR Install an ENERGY STAR approved 2 door, top freezer, white, frost free refrigerator with at least 17.5 cubic feet.	1.00	EA		

Location Total: _____

Location: 2 - SITE WORK

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 4	Site Work				

550	REGRADE FOUNDATION AREA Regrade foundation area by removing 6" of top soil to assure removal of any green foliage. Refill and regrade with sandy loam type soil. Grade must be graded away from home and to the street or road.	80.00	CY		
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Trade: 5 Demolition & Disposal

Custom	DEMOLITION OF EXISTING WOOD HOME Contractor must demolish existing wood home (750sf) and foundation before start of reconstruction project. Contractor is responsible for disposal of debris according to City of Laredo ordinance.	1.00	EA		
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Trade: 6 Concrete & Paving

Custom	FOUNDATION PAD Build a 1100 SF. foundation pad for according to existing conditions and according to engineers recommendations. Materials for pad must reflect proctor and Geo technical exams. Pad must be elevated 8" above grade level.	100.00	CY		
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Trade: 24 Extermination

Custom	PRETREATMENT INSECTICIDE Apply Pretreatment Pesticide to foundation pad. Pesticide must be applied by a professional licensed company.	1.00	EA		
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Trade: 300 Concrete (CSI)

Custom	SOIL COMPACTION EXAMS A minimum of three (3) compaction test must be preformed on foundation pad as compaction of pad is in progress. Minimum	3.00	EA		
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Address: 125 W Ibarra Road

Unit: Unit 01

Location: 2- SITE WORK

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 300	Concrete (CSI)				

of (1) one test per every 8" lift. Each lift will require minimum 95% compaction. Contractor must provide copies of each passed exam.

Location Total: _____

Location: 3- FOUNDATION/CONCRETE SLAB

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				

Custom PLUMBING ROUGH IN

1.00 EA

Install all sch40 for sewer rough in plumbing for commode, shower, vanity, kitchen sink, and HVAC drain. All sewer lines to be 4" schedule 40 pvc pipe. After installation install air meter for air pressure test and inspection. All plumbing must be installed by a texas certified/licensed master plumber. All plumbing must meet 2006 IRC Plumbing Codes. All water supply must be color coded pex plumbing and provided for all plumbing fixtures. Pex Plumbing installation must meet 2006 IRC Plumbing Codes and installed by a Master Plumber.

Trade: 300 Concrete (CSI)

901 **FLATWORK**

1.00 EA

All flatwork must be completed according to plans provided by Architect, and Contractor must build a no step entry platform at front entrance of home. 6'x4'x4"

Custom FOUNDATION CONCRETE POUR

35.00 CY

Contractor is responsible for assuring that concrete pour is in accordance with Engineers desired measures for mix, slump, and PSI.

A State of Texas certified engineer is required to recommend concrete mix.

Custom FOUNDATION STRUCTURE/FORMWORK

1.00 EA

Contractor is responsible for all concrete forms, trenching ditches, Visqueen moisture barrier, american rebar size, and structure to be built and completed according to engineer's foundation design. ASTM Standards must comply.

Location Total: _____

Location: 4- ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				

2930 WINDOW-ALUM SGL HNG/DBL GLZ

6.00 EA

Field measure, fabricate and install a white, single hung, one-over-one, double glazed, thermal break, enameled

Location: 4- ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
	aluminum replacement window including all necessary panning, caulk, trim and screen. 1x2 bathroom window and 3x3 kitchen window. All other windows must meet Egress Fire Codes size (30/50).				
Custom	EXTERIOR WALL CLADDING Apply 5/8" T1-11 Siding to exterior perimeter walls. Apply 1"x4" trim to outside corners, doors, and windows.	992.00	SF	_____	_____
Custom	ROUGH WALL FRAMING Contractor must build wall framing with foam 2"x4" treated sole plates, 2"x4" wall stud"s at 16" on center. (2) 2"x4" top plates. All window and door headers must be 2'x6"s.	829.00	SF	_____	_____
Custom	EXTERIOR DOOR Provide and install one exterior 36" fan light SH energy star metal insulated door, with casing, door trim, and combo single keyed hardware.	2.00	EA	_____	_____
Custom	EXTERIOR SHEATHING Apply 1/2" insulation sheathing in all perimeter walls of home. Enclose insulation sheathing with vapor barrier #30 felt paper or tyvek type paper.	992.00	SF	_____	_____
Custom	ROOF SHEATHING Apply 1/2" or 7/16" osb roof sheathing (decking) according to Architect's recommendations. Protect sheathing by applying #30 black felt paper.	992.00	SF	_____	_____
Custom	ROOF FRAMING BUILD ROOF FRAME ACCORDING TO ARCHITECTURAL PLANS.	829.00	SF	_____	_____
Trade: 15	Roofing				
Custom	ROOF SHINGLES Apply 25 yr. 3 tab asphalt shingles according to manufactures recommendations.	11.00	SQ	_____	_____
Trade: 19	Paint & Wallpaper				
Custom	EXTERIOR TRIM PAINT Primer, and Paint all exterior corner trim, window trim, ext. doors, door trim, and with one coat of primer and two coats of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	280.00	LF	_____	_____
Custom	EXTERIOR PAINT CLADDING Primer, and Paint all exterior cladding with two coats of primer and one coat of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	992.00	SF	_____	_____

Location: 4 - ROUGH IN

Approx Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 21 HVAC					
Custom	HVAC ROUGH IN Install all HVAC interior unit, duct work, build HVAC interior platform and run refrigerant copper line.	1.00	EA		
Trade: 22 Plumbing					
Custom	PLUMBING TOP OUT Cap all existing rough in plumbing. Sewer and water plumbing lines must be completed for plumbing fixture installation. Include completed installation of all sewer vents and HVAC drain. A top out inspection will be conducted prior to installation of Drywall.	1.00	EA		
Trade: 23 Electric					
Custom	ELECTRICAL ROUGH IN Install all electrical, romex wiring for receptacles, switches, and light fixtures. Include installation of receptacle boxes, switch boxes, and light fixture boxes. Also installation of receptacles, GCI receptacles, light switches. Lastly installation of circuit breaker panel. Include naming of all wiring. All Electrical work must meet NEC requirements and installed by a state of Texas certified electrician.	1.00	EA		

Location Total: _____

Location: 5 - INTERIOR

Approx Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
2407	BASEBOARD--COLONIAL 2 1/4" Install finger jointed WM-626fj 9/16" x 2-1/4" colonial base with finish nails of sufficient length to penetrate framing 1". Mitre all lap joints, and break all lap joints over framing.	268.00	LF		
3362	DOOR--PREHUNG PASSAGE--SOLID JAMB Install a 1-3/8" prehung, hollow core door with a solid jamb including casing both sides, 2 butt hinges and a privacy lockset.	5.00	EA		
3375	DOOR--WOOD BIFOLD Hang a flush, hollow core, wood bifold door including overhead track, all hardware and casing on one side, plumb and centered within the opening.	4.00	EA		
Custom	WALL CABINETS Provide and install approximately 11 lf of wood wall cabinets for kitchen area. Colors to be chosen by owner.	11.00	LF		
Custom	COUNTER TOP Install approximately 6lf of formica counter tops for kitchen base cabinets. Color will be chosen by owner. A four color earth tone sample will be provided by contractor.	6.00	LF		

Location: 5-INTERIOR

Approx Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
Custom	BASE CABINETS Install approximately 6lf of wood base cabinets for kitchen area.	6.00	LF	_____	_____
Trade: 17 Drywall & Plaster					
Custom	1/2" DRYWALL Apply 1/2"x4'x8" gypsum board on wall and ceiling with 1 5/8" phosphate coated drywall nails. Moisture proof drywall required on entire bathroom	100.00	EA	_____	_____
Trade: 19 Paint & Wallpaper					
Custom	TAPE, FLOAT, SAND, AND TEXTURE Apply three applications of joint compound cement with tape to all gypsum board joints. Sand, and monterrey texture walls and ceilings.	450.00	LF	_____	_____
Custom	INTERIOR TRIM PAINT Primer, and Paint all interior base molding, door trim, interior doors with two coats of primer and one coat of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	1.00	EA	_____	_____
Custom	INTERIOR PAINT Primer, and Paint all interior walls and ceilings with one coat of primer and two coats of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	829.00	SF	_____	_____
Trade: 20 Floor Coverings					
5915	VINYL COMPOSITION TILE Install 12"x12"x1/8" vinyl composition tile, by Armstrong or Azrock per manufacturer's recommendations. Include metal edge strips at openings, and shoe molding or 4" vinyl base around perimeter. Owner's choice of in-stock color.	829.00	SF	_____	_____
Trade: 22 Plumbing					
6835	SINK--DOUBLE BOWL COMPLETE Install a 22 gauge 33" x 22" x 7" double bowl, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, full port ball type shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered (no compression fittings) & all PVC fittings glued.	1.00	EA	_____	_____
6901	VANITY--30" COMPLETE Install a 30" plywood vanity; including top with backsplash, wash bowl and single lever brass bodied chrome faucet with a	1.00	EA	_____	_____

Location: 5- INTERIOR

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				
	maximum 1.5 GPM flow rate equal to Delta. Include PVC drain attached to a code legal plumbing vent, use type L copper or PEX supply piping with brass bodied stops on all supply lines. Seal all penetration through the floor, walls and cabinet for plumbing connections using expanding foam or caulk and cover with chrome eschucion plates.				
6965	SHOWERSTALL--FIBERGLASS Install a 36"x36" one piece, fiberglass showerstall including PVC waste, molded base, metal two handle shower diverter, shower rod and Delta 6122 shower head. Include supports for future grab bar installation.	1.00	EA		
Trade: 23	Electric				
7810	SMOKE DETECTOR--HARD WIRED--BATTERY BACK-UP Install a UL approved, ceiling mounted smoke and heat detector permanently wired into a receptacle box with battery back-up.	4.00	EA		
Trade: 1000	Specialties (CSI)				
Custom	WALL INSULATION Install R13 wall insulation according manufacturer's requirements on perimeter walls of building. (Approx. 544 sf.)	992.00	SF		
Custom	ATTIC INSULATION R30 Apply Blown Cellulose Insulation to entire attic space.	829.00	SF		

Location Total: _____

Location: 6- FINAL

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 21	HVAC				
Custom	HVAC FINAL Install all HVAC vent grills, thermostat and start up HVAC system for final inspection.	1.00	EA		
Trade: 22	Plumbing				
Custom	PLUMBING FINAL Install plumbing fixtures and include all accessories and water supply lines. Must also include installation of anti-backflow hose bibb. All fixtures must be in working order.	1.00	EA		
Trade: 23	Electric				
Custom	ELECTRICAL FINAL Install receptacle cover plates, switch cover plates, ceiling fans, light fixtures interior and exterior. Also installation of wired smoke alarms @ bedrooms and hallways adjacent to bedroom.	1.00	EA		

Address: 125 W Ibarra Road

Unit: Unit 01

Location: 6-FINAL

Approx Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 23	Electric				

Trade: 25 Appliances

8440	ELECTRIC STOVE--30" Install a white, 30" wide electric stove including oven and electrical connections.	1.00	EA		
8475	REFRIGERATOR--18 CF--ENERGY STAR Install an ENERGY STAR approved 2 door, top freezer, white, frost free refrigerator with at least 17.5 cubic feet.	1.00	EA		

Location Total: _____

Unit Total for 125 W Ibarra Road, Unit Unit 01: _____

Address Grand Total for 125 W Ibarra Road: _____

Bidder: _____



Webb County Housing RECONSTRUCTION Bid Form

Office: 8116 HWY 359
Laredo, Texas 78043
Phone (956) 728-1481
Fax: (956) 728-1483

Project # _____

Name: **Natividad Alvarado**
Address: 105 W. Meirs
Laredo, Texas 78043
Colonia Pueblo Nuevo

Phone# _____

Total Bid Amount _____

Time of Completion: _____

Alternatives:

1. Materials: _____

2. Labor: _____

3. Materials: _____

4. Labor: _____

Contractors Name _____

Address _____

Phone # _____

Signature _____ Date _____

SPECS BY LOCATION/TRADE

4/2/2015

Pre-Bid Site Visit: _____
 Bidding Open Date: _____
 Bidding Close Date: _____
 Initial: _____

Case Number: SHC-010
 Project Manager: Arnoldo Cervantes
 Phone: 956-728-1481

Address: 105 W Meirs Road **Unit:** Unit 01

Location: 1- GENERAL REQUIREMENTS **Approx. Wall SF:** 0 **Ceiling/Floor SF:** 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1 General Requirements					
10	OWNER ACCEPTS SCOPE OF WORK The undersigned applicant(s) certifies that he/she has participated in the development of this Work Write Up (WWU) with the "Date inspected" date of _____ & referred to as Exhibit 1. After careful review the applicant understands & accepts the work described & has initialed & dated each page of this WWU. x _____ x _____ Applicant Date Applicant Date	1.00	DU	_____	_____
14	CONTRACTOR ACCEPTS SCOPE OF WORK The undersigned contractor certifies that he/she has carefully reviewed & agrees to perform the work described in this Work Write Up (WWU) with the "Date Inspected" date of _____ & referred to as Exhibit 1. The contractor shall initial & date each page of the WWU. x _____ Contractor Date	1.00	DU	_____	_____
24	MANUFACTURER'S SPECS PREVAIL All materials shall be installed in full accordance with the manufacturer's specifications for working conditions, surface preparation, methods, protection and testing.	1.00	GR	_____	_____
31	CONSTRUCTION DEFINITIONS "Install" means to purchase, set up, test and warrant a new component. "Replace" means to remove and dispose of original material, purchase new material, deliver, install, test and warrant. "Repair" means to return a building component to like new condition through replacement, adjustment and recoating of parts. "Reinstall" means to remove, clean, store and install a component.	1.00	GR	_____	_____
35	VERIFY QUANTITIES/MEASUREMENTS All Quantities stated in the attached specifications for this address using Units of Measure other than Each (EA), Room (RM) or Dwelling Unit (DU) (e.g. SF of Drywall) are for the contractor's convenience and must be verified by the contractor at a mandatory site inspection prior to bid submission. All quantities stated in the Units of Measure Each (EA), Room (RM) or Dwelling Unit (DU) are as stated. Discrepancies in Quantities found by the contractor must be communicated to the Housing Rehabilitation Specialist prior to the submission of a bid. Claims for additional funds due to discrepancies in Quantities shall not be honored if submitted after the bid submission.	1.00	GR	_____	_____
45	CONTRACTOR PRE-BID SITE VISIT	1.00	DU	_____	_____

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				
	The contractor must inspect the property. Submission of a bid is presumptive evidence that the bidder has thoroughly examined the site and is conversant with the requirements of the local jurisdiction.				
55	WORK TIMES Contractors and their Subcontractors shall schedule working hours between 8:00am and 6:00pm Monday through Friday. Requests to work on weekends and before or after these hours must be approved by the homeowner.	1.00	GR		
77	NEW MATERIALS REQUIRED All materials used in connection with this work write-up are to be new, of first quality and without defects - unless stated otherwise or pre-approved by Owner and Construction Specialist.	1.00	GR		
86	HOLD HARMLESS The contractor will defend, indemnify and hold harmless the Agency, its officers and employees from liability and claim for damages or loss and expenses arising from the contractor's operations under this contract.	1.00	GR		
90	1 YEAR GENERAL WARRANTY Contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appear within one year from final payment. Further, contractor shall furnish owner with all manufacturers' and suppliers' written warranties covering items furnished under this contract prior to release of the final payment.	1.00	DU		
95	PORTABLE TOILET Provide temporary toilet facilities from job start until approval of permanent facilities.	3.00	MO		
115	PERIODICALLY REMOVE DEBRIS The contractor shall clean construction debris from the dwelling and site to a dumpster every day and to a legal landfill at least once each week, and leave the property in broom clean condition.	1.00	DU		
120	FINAL CLEAN Remove from site all construction materials, tools and debris. Sweep clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags. Clean all windows referenced in specifications.	1.00	DU		
Custom	CONTRACTOR RESPONSIBILITY ALL WORK SPECIFICATIONS AND DESCRIPTIONS WILL HAVE TO BE PROVIDED BY CONTRACTOR AT THE TIME OF BID OPENING. SPECIFICATIONS AND DESCRIPTIONS MUST REFLECT PLANS PROVIDED BY ARCHITECT. ALL FOUNDATION WORK MUST REFLECT RESULTS OF STRUCTURAL ENGINEERS DESIGN, AND GEO TECHNICAL EXAM. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON ALL LOCATIONS OF THIS WORK WRITE UP.	1.00	EA		

Location: 1- GENERAL REQUIREMENTS

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				

Location Total: _____

Location: 2- SITE WORK

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 4	Site Work				
550	REGRADE FOUNDATION AREA Regrade foundation area by removing 6" of top soil to assure removal of any green foliage. Refill and regrade with sandy loam type soil. Grade must be graded away from home and to the street or road.	50.00	CY	_____	_____
Trade: 5	Demolition & Disposal				
Custom	DEMOLITION OF EXISTING WOOD HOME Contractor must demolish existing wood home (750sf) and foundation before start of reconstruction project. Contractor is responsible for disposal of debris according to City of Laredo ordinance.	1.00	EA	_____	_____
Trade: 6	Concrete & Paving				
Custom	FOUNDATION PAD Build a 1100 SF. foundation pad for according to existing conditions and according to engineers recommendations. Materials for pad must reflect proctor and Geo technical exams. Pad must be elevated 8" above grade level.	80.00	CY	_____	_____
Trade: 23	Electric				
Custom	ELECTRICAL T-POST Contractor must provide and install a Temporary Electrical Post. Post must meet NEC Codes. All electrical work must be completed by state licensed Master Electrician.	1.00	EA	_____	_____
Trade: 24	Extermination				
Custom	PRETREATMENT INSECTICIDE Apply Pretreatment Pesticide to foundation pad. Pesticide must be applied by a professional licensed company.	1.00	EA	_____	_____
Trade: 300	Concrete (CSI)				
Custom	SOIL COMPACTION EXAMS A minimum of three (3) compaction test must be performed on foundation pad as compaction of pad is in progress. Minimum of (1) one test per every 8" lift. Each lift will require minimum 95% compaction. Contractor must provide copies of each passed exam.	3.00	EA	_____	_____

Address: 105 W Meirs Road

Unit: Unit

Location: 2 - SITE WORK

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 300	Concrete (CSI)				

Location Total: _____

Location: 3 - FOUNDATION/CONCRETE SLAB

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				
Custom	PLUMBING ROUGH IN Install all sch40 for sewer rough in plumbing for commode, shower, vanity, kitchen sink, and HVAC drain. All sewer lines to be 4" schedule 40 pvc pipe. After installation install air meter for air pressure test and inspection. All plumbing must be installed by a texas certified/licensed master plumber. All plumbing must meet 2006 IRC Plumbing Codes. All water supply must be color coded pex plumbing and provided for all plumbing fixtures. Pex Plumbing installation must meet 2006 IRC Plumbing Codes and installed by a Master Plumber.	1.00	EA		
Trade: 300	Concrete (CSI)				

Location Total: _____

Location: 4 - ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
2930	WINDOW--ALUM SGL HNG/DBL GLZ Field measure, fabricate and install a white, single hung, one-over-one, double glazed, thermal break, enameled aluminum replacement window including all necessary panning, caulk, trim and screen. 1x2 bathroom window and 3x3 kitchen window. All other windows must meet Egress Fire Codes size	5.00	EA		

Location: 4- ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
	(30/50).				
Custom	ROUGH WALL FRAMING Contractor must build wall framing with foam 2"x4" treated sole plates, 2"x4" wall stud"s at 16" on center. (2) 2"x4" top plates. All window and door headers must be 2'x6"s.	768.00	SF		
Custom	ROOF FRAMING BUILD ROOF FRAME ACCORDING TO ARCHITECTURAL PLANS.	240.00	SF		
Custom	EXTERIOR WALL CLADDING Apply 5/8" T1-11 Siding to exterior perimeter walls. Apply 1"x4" trim to outside corners, doors, and windows.	768.00	SF		
Custom	ROOF SHEATHING Apply 1/2" or 7/16" osb roof sheathing (decking) according to Architect's recommendations. Protect sheathing by applying #30 black felt paper.	576.00	SF		
Custom	EXTERIOR DOOR Provide and install one exterior 36" fan light SH energy star metal insulated door, with casing, door trim, and combo single keyed hardware.	1.00	EA		
Custom	EXTERIOR SHEATHING Apply 1/2" insulation sheathing in all perimeter walls of home. Enclose insulation sheathing with vapor barrier #30 felt paper or tyvek type paper.	768.00	SF		
Trade: 15	Roofing				
Custom	ROOF SHINGLES Apply 25 yr. 3 tab asphalt shingles according to manufactures recommendations.	9.00	SQ		
Trade: 19	Paint & Wallpaper				
Custom	EXTERIOR TRIM PAINT Primer, and Paint all exterior corner trim, window trim, ext doors, door trim, and with one coat of primer and two coats of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	180.00	LF		
Custom	EXTERIOR PAINT CLADDING Primer, and Paint all exterior cladding with two coats of primer and one coat of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	768.00	SF		
Trade: 21	HVAC				
Custom	HVAC ROUGH IN	1.00	EA		

Location: 4-ROUGH IN

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 21	HVAC				
	Install all HVAC interior unit, duct work, build HVAC interior platform and run refrigerant copper line.				
Trade: 22	Plumbing				
Custom	PLUMBING TOP OUT	1.00	EA		
	Cap all existing rough in plumbing. Sewer and water plumbing lines must be completed for plumbing fixture installation. Include completed installation of of all sewer vents and HVAC drain. A top out inspection will be conducted prior to installation of Drywall.				
Trade: 23	Electric				
Custom	ELECTRICAL ROUGH IN	1.00	EA		
	Install all electrical, romex wiring for receptacles, switches, and light fixtures. Include installation of receptacle boxes, switch boxes, and light fixture boxes. Lastly installation of circuit breaker panel. Include naming of all wiring. All Electrical work must meet NEC requirements and installed by a state of Texas certified electrician.				

Location Total: _____

Location: 5-INTERIOR

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
2407	BASEBOARD--COLONIAL 2 1/4"	184.00	LF		
	Install finger jointed WM-626fj 9/16" x 2-1/4" colonial base with finish nails of sufficient length to penetrate framing 1". Mitre all lap joints, and break all lap joints over framing.				
3362	DOOR--PREHUNG PASSAGE--SOLID JAMB	3.00	EA		
	Install a 1-3/8" prehung, hollow core door with a solid jamb including casing both sides, 2 butt hinges and a privacy lockset.				
3375	DOOR--WOOD BIFOLD	2.00	EA		
	Hang a flush, hollow core, wood bifold door including overhead track, all hardware and casing on one side, plumb and centered within the opening.				
4160	CLOSET--BEDROOM	1.00	EA		
	Construct a closet in bedroom along wall as indicated on plans. Hang a louvered pine bifold door including overhead track and hardware. Install a 1"x 12" plywood shelf, 1-3/8" hanger rod.				
Custom	WALL CABINETS	6.00	LF		
	Provide and install approximately 11 lf of wood wall cabinets for kitchen area. Colors to be chosen by owner.				
Custom	COUNTER TOP	6.00	LF		
	Install approximately 9lf of formica counter tops for kitchen base				

Location: 5-INTERIOR

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
	cabinets. Color will be chosen by owner. A four color earth tone sample will be provided by contractor.				
Custom	BASE CABINETS Install approximately 9lf of wood base cabinets for kitchen area.	6.00	LF		
Trade: 17	Drywall & Plaster				
Custom	1/2" DRYWALL Apply 1/2"x4'x8' gypsum board on wall and ceiling with 1 5/8" phosphate coated drywall nails. Moisture proof drywall required on entire bathroom	80.00	EA		
Trade: 19	Paint & Wallpaper				
Custom	TAPE, FLOAT, SAND, AND TEXTURE Apply three applications of joint compound cement with tape to all gypsum board joints. Sand, and monterrey texture walls and ceilings.	300.00	LF		
Custom	INTERIOR TRIM PAINT Primer, and Paint all interior base molding, door trim, interior doors with two coats of primer and one coat of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	1.00	EA		
Custom	INTERIOR PAINT Primer, and Paint all interior walls and ceilings with one coat of primer and two coats of paint. Paint must be 1st. in quality and color must be chosen by Owner. Contractor will provide four earth tone colors to the SHC Construction Coordinator for approval prior to being chosen by the Homeowner.	568.00	SF		
Trade: 20	Floor Coverings				
5915	VINYL COMPOSITION TILE Install 12"x12"x1/8" vinyl composition tile, by Armstrong or Azrock per manufacturer's recommendations. Include metal edge strips at openings, and shoe molding or 4" vinyl base around perimeter. Owner's choice of in-stock color.	570.00	SF		
Trade: 21	HVAC				
Custom	HVAC Install interior air handler in HVAC mechanical room. As indicated on plans.	1.00	EA		
Trade: 22	Plumbing				
6835	SINK--DOUBLE BOWL COMPLETE Install a 22 gauge 33" x 22" x 7" double bowl, stainless steel, self rimming kitchen sink including a steel, metal body faucet,	1.00	EA		

Location: 5 - INTERIOR

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22 Plumbing					
	rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, full port ball type shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered (no compression fittings) & all PVC fittings glued.				
6901	VANITY--30" COMPLETE Install a 30" plywood vanity; including top with backsplash, wash bowl and single lever brass bodied chrome faucet with a maximum 1.5 GPM flow rate equal to Delta. Include PVC drain attached to a code legal plumbing vent, use type L copper or PEX supply piping with brass bodied stops on all supply lines. Seal all penetration through the floor, walls and cabinet for plumbing connections using expanding foam or caulk and cover with chrome escutcheon plates.	1.00	EA		
6965	SHOWERSTALL--FIBERGLASS Install a 36"x36" one piece, fiberglass showerstall including PVC waste, molded base, metal two handle shower diverter, shower rod and Delta 6122 shower head. Include supports for future grab bar installation.	1.00	EA		

Trade: 23 Electric

7810	SMOKE DETECTOR--HARD WIRED--BATTERY BACK-UP Install a UL approved, ceiling mounted smoke and heat detector permanently wired into a receptacle box with battery back-up.	2.00	EA		
Custom	Electrical Installation of receptacles, GCI receptacles, light switches and smoke alarms in bedroom and hallway adjacent to bedroom.	1.00	EA		

Trade: 1000 Specialties (CSI)

Custom	WALL INSULATION Install R13 wall insulation according manufacturer's requirements on perimeter walls of building. (Approx. 544 sf.)	768.00	SF		
Custom	ATTIC INSULATION R30 Apply Blown Cellulose Insulation to entire attic space.	568.00	SF		

Location Total:

Location: 6 - FINAL

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 21 HVAC					
Custom	HVAC FINAL Install all HVAC, thermostat, vent grills and start up HVAC system for final inspection.	1.00	EA		

Trade: 22 Plumbing

Address: 105 W Meirs Road

Unit: Unit 01

Location: 6 - FINAL

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				
Custom	PLUMBING FINAL Install plumbing fixtures and include all accessories and water supply lines. Must also include installation of anti-backflow hose bibb. All fixtures must be in working order.	1.00	EA		
Trade: 23	Electric				
Custom	ELECTRICAL FINAL Install receptacle cover plates, switch cover plates, ceiling fans, light fixtures interior and exterior. Install connect and	1.00	EA		

Location Total: _____

Unit Total for 105 W Meirs Road, Unit Unit 01: _____

Address Grand Total for 105 W Meirs Road: _____

Bidder: _____

GENERAL NOTE:

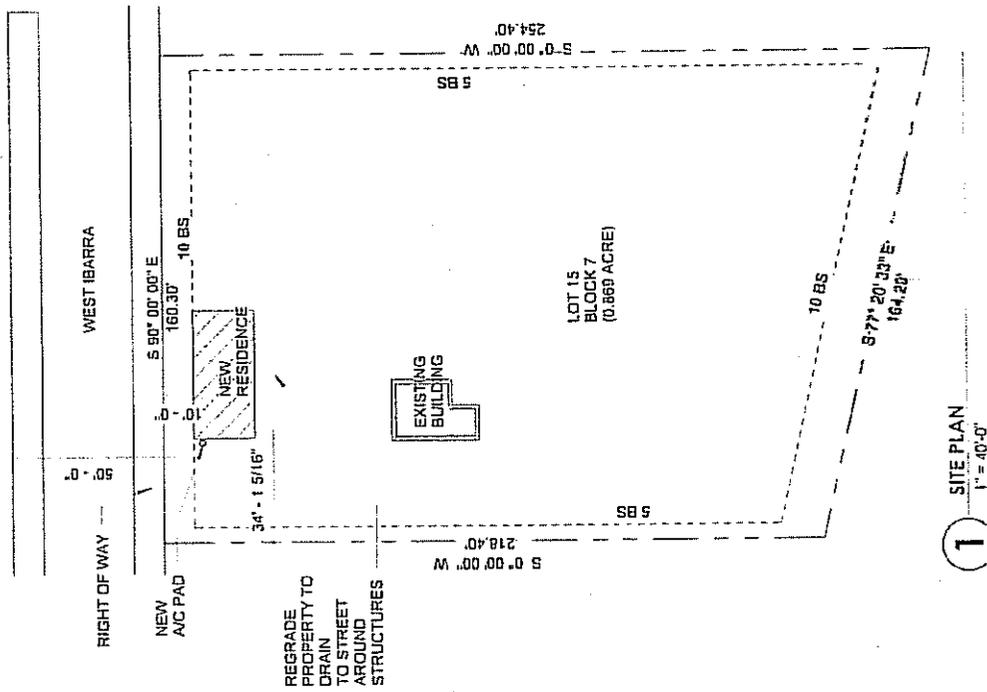
TEMPORARY SANITARY FACILITIES AND WASTE REMOVAL FACILITIES TO BE PROVIDED BY GC.

PROVIDE LANDSCAPING ALLOWANCE TO COMPLY W/ COUNTY FRONT YARD REQUIREMENTS

CALL BEFORE YOU DIG
1 800 545 3005
ONE CALL NUMBER
48HR NOTICE REQUIRED

COMPLY WITH GOVERNING CITY COUNTY & STATE RESIDENTIAL CODES ADOPTED BY AHJ

REFER TO HOWLAND ENGINEERING AND SURVEYING CO.
JOB No.F5560-14 DATE:11-26-14
FOR ADDITIONAL DIMENSIONS



TRUE NORTH

1 SITE PLAN
1" = 40'-0"

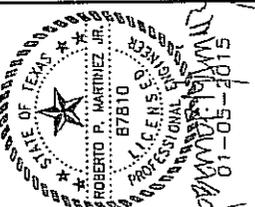


WEBB COUNTY
125 WEST IBARRA STREET

REDLINE
ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

No.	Description	Date
3	FOR CONSTRUCTION	01-06-2015

SITE PLAN
Project number: 690914 .03
Date: 01-06-2015
Drawn by: TLM
Checked by: JIM
Scale: 1" = 40'-0"
A100

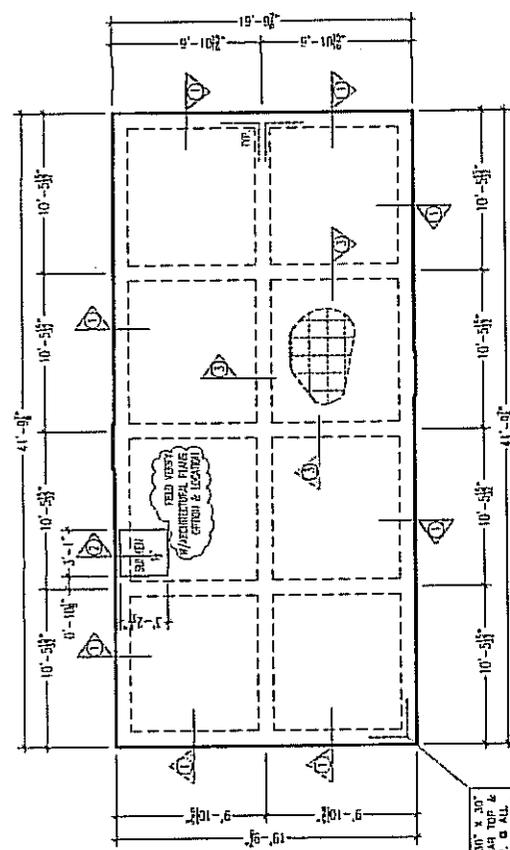


HOWLAND
 ENGINEERING AND SURVEYING CO.
 7915 N. Garden Avenue, P.O. Box 45128 (78045), Laredo, TX, 78044
 P: 956.722.4111 F: 956.722.4144
 www.howlandcompanies.com

FOUNDATION PLAN
 BUILDER: REDUNE ARCHITECTURE, L.P.
 SUBDIVISION: PUERTO NUEVO SUBDIVISION
 ADDRESS: 125 W. BARRA STREET
 LOTS: 15
 BLOCK: 7

PLAN:
 3 BED - 1 BATH
 SHEET NO. 020
 DATE: 01-08-2014
 SCALE: 1/8" = 1'-0"
 S.1

4" THICK MINIMUM CONCRETE SLAB
 REINFORCED WITH #3 @ 12" O.C. W/
 CHAIRS. IN SLAB OVER A 6 MIL-VAPOR
 BARRIER OVER COMPACTED STRUCTURAL FILL.
 (SEE SITE PREPARATION NOTES)



SPECIFIC PLAN NOTES
 SLAB THICKNESS MINIMUM 4 INCHES
 ALL EXTERIOR BEAMS TO BE 12" W X 24" D (U.N.O.)
 ALL INTERIOR BEAMS TO BE 12" W X 24" D
 EFFECTIVE PLASTICITY INDEX = .18
 APPROX. SOIL BEARING PRESSURE = 1,950 PSF

FOUNDATION DESIGN
 FOUNDATION DESIGN WAS BASED ON THE GEOTECHNICAL REPORT
 PREPARED BY HOWLAND ENGINEERING AND SURVEYING CO.
 (PROJECT NO. 35191) BORE DRILL DATE: NOVEMBER 23, 2014.

**VERIFY ALL DROPS
 AND DIMENSIONS WITH
 ARCHITECTURAL PLANS**

REBAR SCHEDULE	
EXTERIOR BEAMS	Rebar: 2-#5 Top Rebar: 2-#5 Bottom Stirrups: #3 @ 36" O.C.
INTERIOR BEAMS	Rebar: 2-#5 Top Rebar: 2-#5 Bottom Stirrups: #3 @ 36" O.C.
SLAB REINFC.	#3 @ 12" O.C. B.W.

FOUNDATION PLAN
 TOTAL SQUARE FOOTAGE: 529

GENERAL
 THIS FOUNDATION HAS BEEN DESIGNED USING ACCEPTABLE ENGINEERING PRACTICES
 AND IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING
 CODE REQUIREMENTS, THE GEOTECHNICAL DESIGN OF SLAB-ON-GROUND
 FOUNDATIONS, AND THE GEOTECHNICAL INVESTIGATION.

SITE PREPARATION
 THE FOUNDATION SHALL BE REPRESENTATIVE FOR WORKING CONDITIONS OF EXISTING
 SITE. ALL SOILS TO BE REMOVED SHALL BE PROPERLY CONTAINED AND
 REMOVED FROM THE SITE. ALL SOILS TO BE REMOVED SHALL BE PROPERLY
 CONTAINED AND REMOVED FROM THE SITE. ALL SOILS TO BE REMOVED SHALL
 BE PROPERLY CONTAINED AND REMOVED FROM THE SITE.

CONSTRUCTION
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DEEP AREAS, BURIED-OUT
 CONDITIONS, EXISTING UTILITIES AND FOUNDATION CONDITIONS. ALL
 DIMENSIONS SHALL BE VERIFIED PRIOR TO START OF FOUNDATION
 CONSTRUCTION. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO START OF
 FOUNDATION CONSTRUCTION.

REINFORCEMENT
 ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE
 FOUNDATION DESIGN. ALL REINFORCEMENT SHALL BE PLACED IN
 ACCORDANCE WITH THE FOUNDATION DESIGN. ALL REINFORCEMENT SHALL
 BE PLACED IN ACCORDANCE WITH THE FOUNDATION DESIGN.

FORMWORK
 FORMWORK SHALL BE DESIGNED TO SUPPORT THE WEIGHT OF THE
 CONCRETE AND THE WEIGHT OF THE FORMWORK. ALL FORMWORK SHALL
 BE DESIGNED TO SUPPORT THE WEIGHT OF THE CONCRETE AND THE
 WEIGHT OF THE FORMWORK.

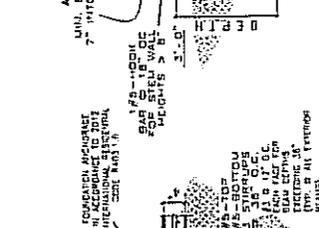
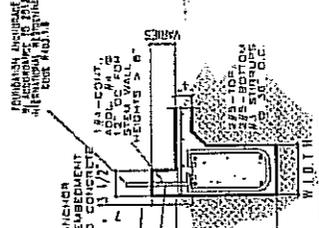
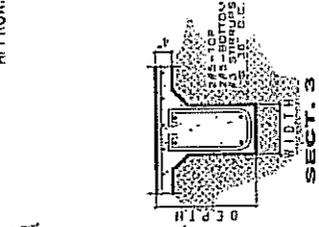
FINISHES
 ALL FINISHES SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL
 PLANS. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE
 ARCHITECTURAL PLANS. ALL FINISHES SHALL BE IN ACCORDANCE
 WITH THE ARCHITECTURAL PLANS.

QUALITY CONTROL
 ALL CONCRETE SHALL BE TESTED IN ACCORDANCE WITH THE
 FOUNDATION DESIGN. ALL CONCRETE SHALL BE TESTED IN
 ACCORDANCE WITH THE FOUNDATION DESIGN. ALL CONCRETE SHALL
 BE TESTED IN ACCORDANCE WITH THE FOUNDATION DESIGN.

PROTECTION
 ALL FOUNDATION ELEMENTS SHALL BE PROTECTED FROM DAMAGE
 DURING CONSTRUCTION. ALL FOUNDATION ELEMENTS SHALL BE
 PROTECTED FROM DAMAGE DURING CONSTRUCTION.

NOTES
 ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL
 PLANS. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE
 ARCHITECTURAL PLANS. ALL DIMENSIONS SHALL BE IN ACCORDANCE
 WITH THE ARCHITECTURAL PLANS.

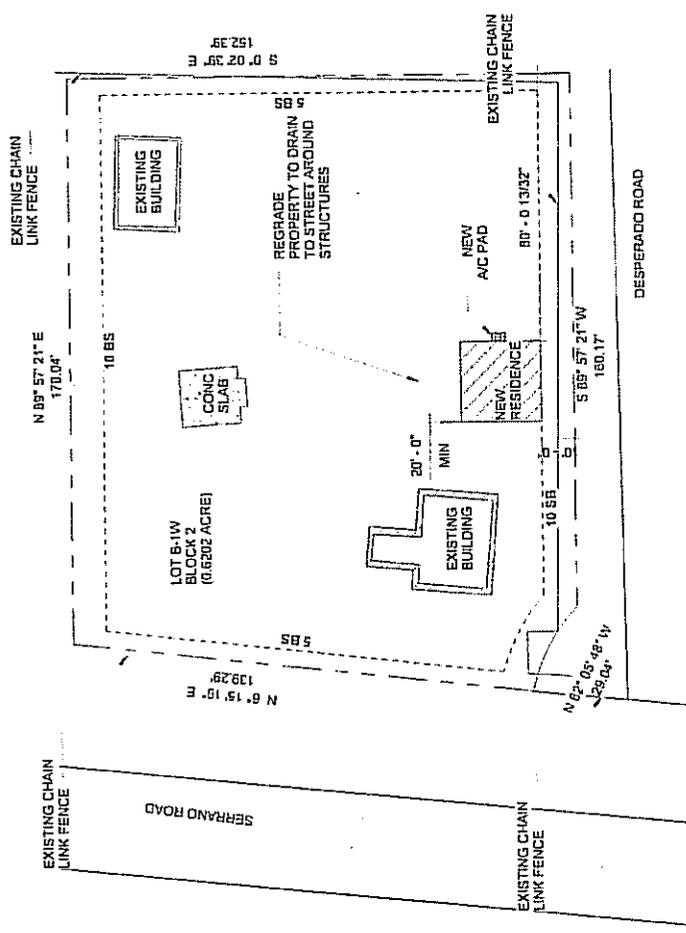
REVISIONS
 ALL REVISIONS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL
 PLANS. ALL REVISIONS SHALL BE IN ACCORDANCE WITH THE
 ARCHITECTURAL PLANS. ALL REVISIONS SHALL BE IN ACCORDANCE
 WITH THE ARCHITECTURAL PLANS.



SECTION 3

SECTION 2

SECTION 1



TRUE NORTH

PROVIDE LANDSCAPING ALLOWANCE TO COMPLY W/ COUNTY FRONT YARD REQUIREMENTS

1 SITE PLAN 1/32" = 1'-0"

CALL BEFORE YOU DIG 1-800-848-3000 ONE CALL NUMBER 48HR NOTICE REQUIRED

COMPLY WITH GOVERNING CITY, COUNTY, STATE & FEDERAL RESIDENTIAL CODES ADOPTED BY AHJ

WEBB COUNTY 6828 DESPERADO ROAD



No.	Description	Date
3	FOR CONSTRUCTION	01-08-2015

SITE PLAN Project number: 680014.01 Date: 01-08-15 Drawn by: JS Checked by: TLM Scale: 1/32" = 1'-0"

REDLINE ARCHITECTURE 121 CALLE DEL NORTE SUITE 103 LAREDO, TX 76041



01-05-2015
 Roberto P. Martinez
 PROFESSIONAL ENGINEER
 MECHANICAL ENGINEERING
 STATE OF TEXAS
 LICENSE NO. 87810

VERIFY ALL DROPS
 AND DIMENSIONS WITH
 ARCHITECTURAL PLANS

BASIS OF DESIGN

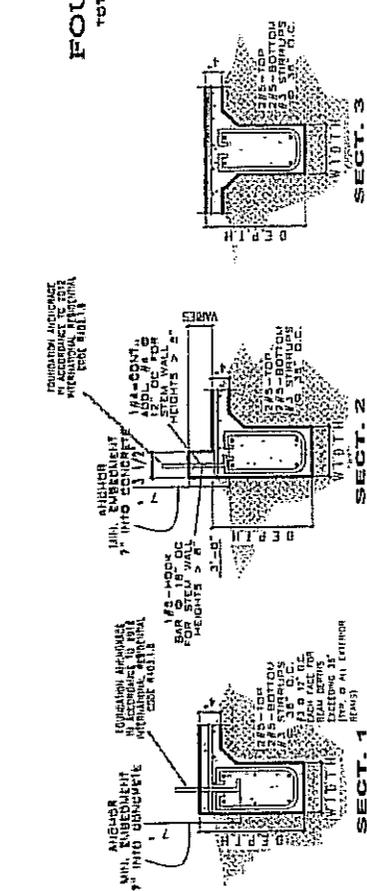
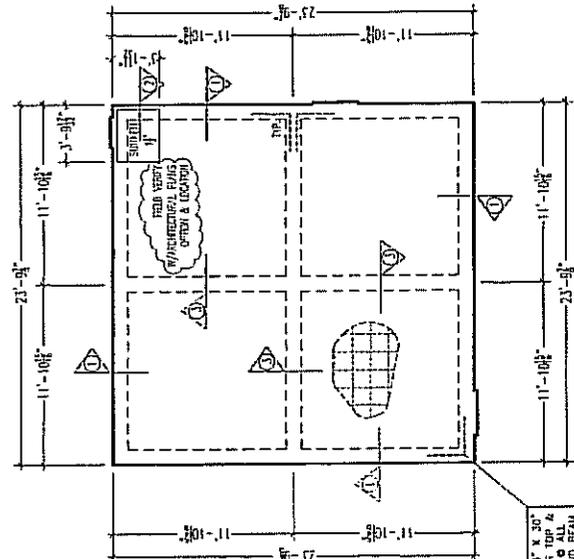
FOUNDATION DESIGN WAS BASED ON THE GEOTECHNICAL REPORT
 PREPARED BY HOWLAND ENGINEERING AND SURVEYING CO.,
 (PROJECT NO. 15191) BORE DRILL DATE: NOVEMBER 25, 2014.

SPECIFIC PLAN NOTES

SLAB THICKNESS MINIMUM 4 INCHES
 ALL EXTERIOR BEAMS TO BE 12" W X 24" D (U.N.O.)
 ALL INTERIOR BEAMS TO BE 12" W X 24" D
 EFFECTIVE PLASTICITY INDEX = 19
 APPROX. SOIL BEARING PRESSURE = 1,375 PSF

REBAR SCHEDULE	
EXTERIOR BEAMS	Rebar 2-#5 Top
	Rebar 2-#5 Bottom
	Stirrups #3 @ .36" O.C.
INTERIOR BEAM	Rebar 2-#5 Top
	Rebar 2-#5 Bottom
	Stirrups #3 @ .36" O.C.
SLAB REINF.	#3 @ 12" O.C. @ 11"

FOUNDATION PLAN
 TOTAL SQUARE FOOTAGE: 500



GENERAL
 FOUNDATION HAS BEEN DESIGNED USING ACCEPTABLE CONCRETE PRACTICES AND IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS. THE REINFORCEMENT ARRANGEMENT BEHIND OF SLAB-ON-WALL FOUNDATIONS, AND THE GEOTECHNICAL INVESTIGATION.
 IT IS RECOMMENDED THAT THE DESIGN ENGINEER, A QUALIFIED REPRESENTATIVE OF A PROFESSIONAL ENGINEER FIRM, AND ASSURE PLACEMENT OF REINFORCEMENT PRIOR TO THE PLACEMENT OF CONCRETE.

SITE PREPARATION
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COVER OF REINFORCEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE PROPOSED VARIATIONS OF ANY SPECIAL S.D. OR WATER CONDITIONS THAT ARE PRESENT ON SITE.

ALL TOPSOIL, BASE AND OTHER ORGANIC MATERIAL SHALL BE REMOVED. THE EXPOSED EXISTING TOP SUBGRADE LAYERS (36" OF UNSATURATED CLAY) SHALL BE REMOVED. THE EXPOSED EXISTING TOP SUBGRADE LAYERS (36" OF UNSATURATED CLAY) SHALL BE REMOVED. THE EXPOSED EXISTING TOP SUBGRADE LAYERS (36" OF UNSATURATED CLAY) SHALL BE REMOVED.

PROVIDE FILL SHALL BE PROVIDED FOR ANY EXISTING TRENCHES CLOSER THAN 15 FEET FROM THE EDGE OF THE FOUNDATION SLAB. NO LARGE TREES OR BUSHES SHALL BE PLACED OR PLANTED CLOSER THAN 15 FEET FROM THE EDGE OF THE FOUNDATION.

FILL MATERIAL SHALL BE CLEAN EARTH, FREE OF ALL DECOMPOSABLE AND FOREIGN OBJECTS.

FILL MATERIAL, BASE AND SURFACE SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DENSITY BY STANDARD METHOD IN ACCORDANCE WITH ASTM D-1557. THE EXISTING TOP SUBGRADE LAYERS (36" OF UNSATURATED CLAY) SHALL BE REMOVED. THE EXPOSED EXISTING TOP SUBGRADE LAYERS (36" OF UNSATURATED CLAY) SHALL BE REMOVED.

ALL MATERIAL AND CONSTRUCTION SHALL BE COVERED BY THE SOILS COVER OF RECORD OR A QUALIFIED GEOTECHNICAL ENGINEER'S TESTING LABORATORY AT THE DISCRETION OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COVER OF REINFORCEMENT.

BASED ON THE CONDITIONS PROVIDED THAT THE FILL BEING USED IS NOT EXCEED 6 FEET. FILL SHALL BE PLACED IN PLASTIC-LINED BINS.

SITE DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATION. IN ORDER TO PREVENT NON-UNIFORM SETTLEMENTS IN THE BEARING SOILS. EXISTING COLLECTION OF SURFACE WATER SHOULD BE MAINTAINED AWAY FROM THE FOUNDATION TO PREVENT INTERFERING SOIL MOVEMENTS.

CONSTRUCTION
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DROP AREAS, BLOCK-OUT LOCATIONS, EXISTING REINFORCEMENT, INTERFERENCES AND ANY OTHER RELATED ITEMS WITH THE SITE PLAN AND ARCHITECTURAL, STRUCTURAL/MECHANICAL/ELECTRICAL/PLUMBING PLANS PRIOR TO START OF CONSTRUCTION.

ALL BEAM BOTTOMS MUST BE FINISHED TO A MINIMUM OF 12" INCHES INTO UNSATURATED SOIL OR PROPERLY COMPACTED FILL (PROCESSED).

WEED BARRIER SHALL BE A MINIMUM OF 60% POLYETHYLENE SHEETING. SHEETING SHALL COVER ALL AREAS INCLUDING ANY ATTACHED GARAGE.

ALL CONCRETE FOR FOUNDATION BEAMS AND BASES SHALL BE OF NORMAL WEIGHT (HANDMADE) AGGREGATE WITH A MAXIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE TESTS SHALL BE IN ACCORDANCE WITH A.C.I. BUILDING CODE REQUIREMENTS (ACI 318, LATEST EDITION).

CONCRETE POUR SHALL NOT BE STARTED UNLESS THE SOIL TEMPERATURE IS AT LEAST FIFTY-FIVE (55) DEGREES F. FOR THE NEXT 12 HOURS.

ALL CONCRETE SHALL BE RECEIVED, MIXED, TRANSPORTED AND PLACED IN ACCORDANCE WITH THE LATEST ACI SPECIFICATIONS.

BASES SHALL BE FREE OF MOISTURE AND WEARS IN ALL AREAS. EXISTENCE SHALL BE FREE OF CORROSION OF UNDER FLOORING.

WHENEVER THERE ARE RUNNING LINES, BEAMS, OR OTHER STRUCTURES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COVER OF REINFORCEMENT.

CONCRETE SHALL BE VIBRATED AS REQUIRED AND IN ACCORDANCE TO UNIFORM MIXTURE SPECIFICATIONS IN ALL SMALL BEAMS.

REBAR REINFORCEMENT SHALL BE SECURELY BOUND WITH 2 1/2" PLASTIC CHAINS AT EVERY 9 SQUARE FEET MAXIMUM. REBAR STAKES AND/OR CHAINS TO BE USED TO HOLD TOP AND BOTTOM REBAR IN PLACE SHALL BE TIED AT EVERY OTHER INTERSECTION.

REBAR REINFORCEMENT AS PER 1-011. SPACE ED UNLESS APPROVED OTHERWISE. STAKES AND CHAINS AS PER 1-011. SPACE ED UNLESS APPROVED OTHERWISE.

CORNER BARS: 2 AS 6" LONG AT EACH END WITH TWO AT TOP AND TWO AT BOTTOM. ENTIRE SHALL BE PROVIDED AT EACH EXTERIOR CORNER AND BEAM INTERSECTIONS.

REBAR WITH WELDED (WELDED) SHALL COMPARE TO ASTM A-183.

MINIMUM SIZE AND SPACING LENGTH FOR A REINFORCEMENT BAR SHALL BE 40 TIMES THE BAR DIAMETER OF THE LARGER DIAMETER BAR, BUT NOT LESS THAN 12 INCHES.

UNIFORM COVER OF 1" AT THE BOTTOM OF THE BEAM AND 2" AT THE BEAM SIDES AND 3" AT THE TOP OF THE BEAM. UNIFORM COVER OF 1" AT THE TOP CORNER, UNLESS NOTED OTHERWISE.

HOWLAND
 ENGINEERING AND SURVEYING CO.
 TPE Firm Registration No. F-1097 TPE Firm Registration No. 10043-03
 7615 N. Garland Avenue P.O. Box 451228 (75045) Fort Worth, TX 76111
 P. 950.722.4111 F. 950.722.5414
 www.howlandcompanies.com

FOUNDATION PLAN
 BUILDER: REJUNE ARCHITECTURE, L.P.
 SUBDIVISION: TAMAYOS SUBDIVISION
 PHASE: 2
 ADDRESS: 6828 DESSPERADO ROAD
 LOT: 81-W BLOCK: 2

PLAN: 1 BED - 1 BATH
 SHEET: 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"
 DATE: 01-05-2015
 DRAWN BY: R.P.M.
 CHECK BY: R.P.M.
 DESIGNED BY: R.P.M.
 DATE: 01-05-2015
 PROJECT: REJUNE ARCHITECTURE, L.P.

S.1

ARCHITECT

REDLINE ARCHITECTURE, LLC
 121 CALLE DEL NORTE, SUITE 103
 LAREDO, TX, 78041
 PH: 956.727.5391
 CONTACT: TEISSA L. MCLANDOUJUAN MOLANO

REPRESENTATIVE

WEBB COUNTY
 SELF-HELP CENTER
 8116 HWY 359
 LAREDO, TX, 78040
 PH: 956.523.4125
 CONTACT: WEBB COUNTY

GENERAL CONTRACTOR

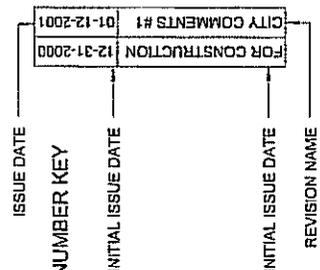
TO BE DETERMINED

BUILDING CONSTRUCTION

ALL BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE FOLLOWING CODES:
 -INTERNATIONAL RESIDENTIAL CODE 2012
 -INTERNATIONAL PLUMBING CODE 2012
 -INTERNATIONAL MECHANICAL CODE 2012
 -INTERNATIONAL ENERGY CODE 2009
 -INTERNATIONAL ELECTRICAL CODE 2011

INDEX OF DRAWINGS

SYMBOLS KEY/DRAWING NUMBER KEY

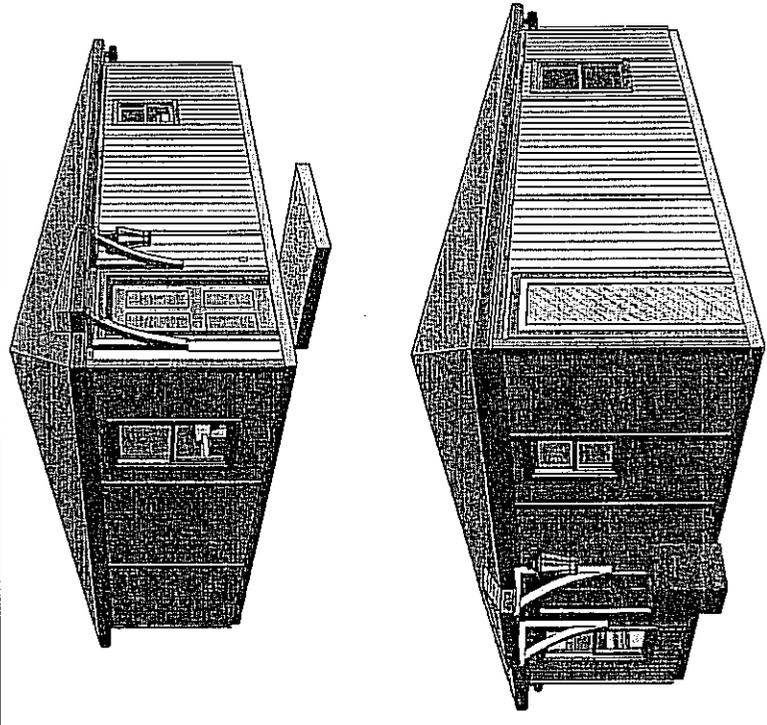


A - ARCHITECTURE
 C - CIVIL

ARCHITECTURAL

NO.	DESCRIPTION	DATE
1	PROGRESS SET	12-04-2014
2	95% CDS	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

NO.	DESCRIPTION	DATE
1	INDEX SHEET / LOCATION MAP	DEC 4, 2014
2	SITE PLAN	DEC 4, 2014
3	ARCHITECTURAL FLOOR PLAN	DEC 4, 2014
4	ELECTRICAL & RCP	DEC 4, 2014
5	ROOF PLAN	DEC 4, 2014
6	FINISH SCHEDULE	DEC 4, 2014
7	EXTERIOR ELEVATIONS	DEC 4, 2014
8	INTERIOR ELEVATIONS	DEC 4, 2014
9	BUILDING SECTIONS	DEC 4, 2014
10	WALL SECTIONS	DEC 4, 2014
11	DETAIL SECTIONS	DEC 4, 2014
12	HOME WRAP DETAIL A	DEC 4, 2014
13	ROOF DETAILS	DEC 4, 2014
14	PANEL & TRIM DETAILS	DEC 4, 2014



REDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

WEBB COUNTY
 2014-009 "Self Help Reconstruction Program"
 1 Bedroom



No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CDS	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

INDEX SHEET / LOCATION MAP

Project number: 090914.01
 Date: 01-28-15
 Drawn by: JS
 Checked by: TLM
 Scale:

A000

TERMITE PROTECTION:

ACCORDING TO FIGURE R301.2(6) TERMITE INFESTATION PROBABILITY MAP LAREDO IS LOCATED IN A MODERATE TO HEAVY TERMITE AREA AND SHOULD ABIDE BY THE FOLLOWING:

- SECTION R318 PROTECTION AGAINST SUBTERRANEAN TERMITES**
- R318.1 Subterranean termite control methods. In areas subject to damage from termites as indicated by Table R301.2(1), methods of protection shall be one of the following methods or a combination of these methods:
1. Chemical termiticide treatment, as provided in Section R318.4
 2. Foam plastic protection, in areas where the probability of termite infestation is "very heavy" as indicated in Figure R301.2(6), extruded and expanded polystyrene, polyisocyanurate and other foam plastics shall not be installed on the exterior face of under interior or exterior foundation walls or slab foundations located below grade. The clearance between foam plastics installed above grade and exposed earth shall be at least 6 inches (152 mm).
- Exceptions:**
1. Buildings where the structural members of walls, floors, ceilings and roofs are entirely of noncombustible materials or pressure-preservative-treated wood.
 2. When in addition to the requirements of Section R318.1, an approved method of protecting the foam

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 2. When in addition to the requirements of Section R318.1, an approved method of protecting the foam

RE: SPECIFIC SITE LOCATION PROVIDED BY REDLINE

FLASHING AT FOUNDATION (2012 RESIDENTIAL CODE):

A corrosion-resistant screen or flashing of a minimum 0.019-inch (0.48 mm) or 26-gauge galvanized or plastic with a minimum vertical attachment flange of 3/12 inches (89 mm) shall be installed to extend a minimum of 1 inch (25 mm) below the foundation plate line on exterior stud walls in accordance with Section R703.3. The water-resistive barrier, as required by Table R703.4, Foinola w. shall lap over the exterior of the attachment flange of the screen or flashing.

SITE PLAN LEGENDS

-  LANDSCAPING BED
-  SODDED AREA
-  CONCRETE; RE: CIVIL
-  DECOMPOSED GRANITE AND/OR P GRAVEL



WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

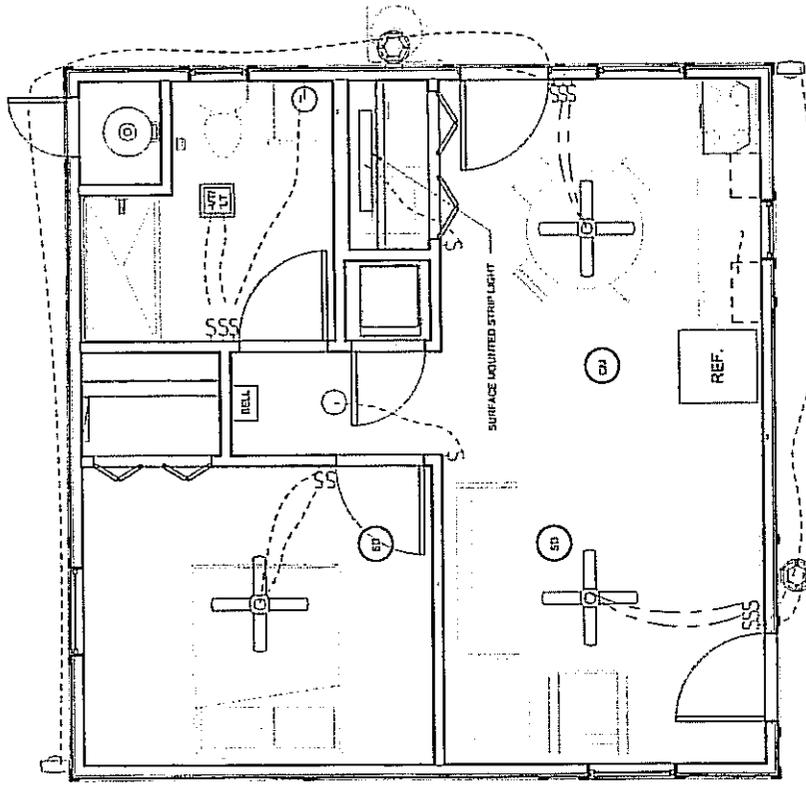
REDLINE
ARCHITECTURE
121 CALLE DEL NORTE SUITE 100
LAREDO, TX 78041

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

SITE PLAN	
Project number	690914.01
Date	01-28-15
Drawn by	JIS
Checked by	TLM
Scale	A100

ELECTRICAL & RCP LEGEND

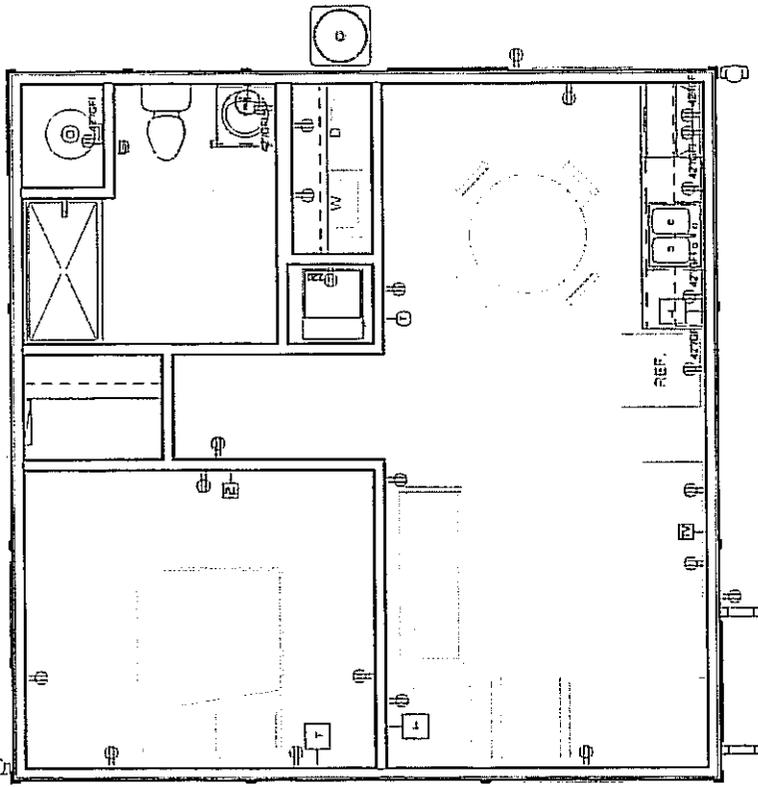
⊖	EXHAUST FAN WITH LIGHT, VENT TO EXTERIOR
⊖	RECESSED DOWNLIGHT
⊖	PENDANT LIGHT
⊖	SMOKE DETECTOR
⊖	CARBON MONOXIDE & SMOKE DETECTOR
⊖	FAN WITH LIGHT KIT
⊖	FLOOR LIGHTS
⊖	WALL MOUNTED LIGHT FIXTURE
⊖	110 DIMMER SWITCH
⊖	110 DIMMER - ABOVE CEILING
⊖	3-POLE GROUND FAULT INTERRUPTER
⊖	CABLE TELEVISION OUTLET
⊖	TELEPHONE CABLE
⊖	THERMOSTAT
⊖	DOOR BELL BUTTON
⊖	WEATHERPROOF LIGHTING
⊖	WALL OUTLET
⊖	EXHAUST FAN



1 REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTE:

- EACH ELECTRICAL PANEL, LIGHT SWITCHES, OR THERMOSTAT IS NOT HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- EACH ELECTRICAL PLUG OR OTHER RECEPTACLE IS AT LEAST 15" ABOVE FLOOR
- EACH BREAKER BOX IS LOCATED NOT HIGHER THAN 48" ABOVE THE FLOOR.



2 ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL & RCP

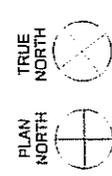
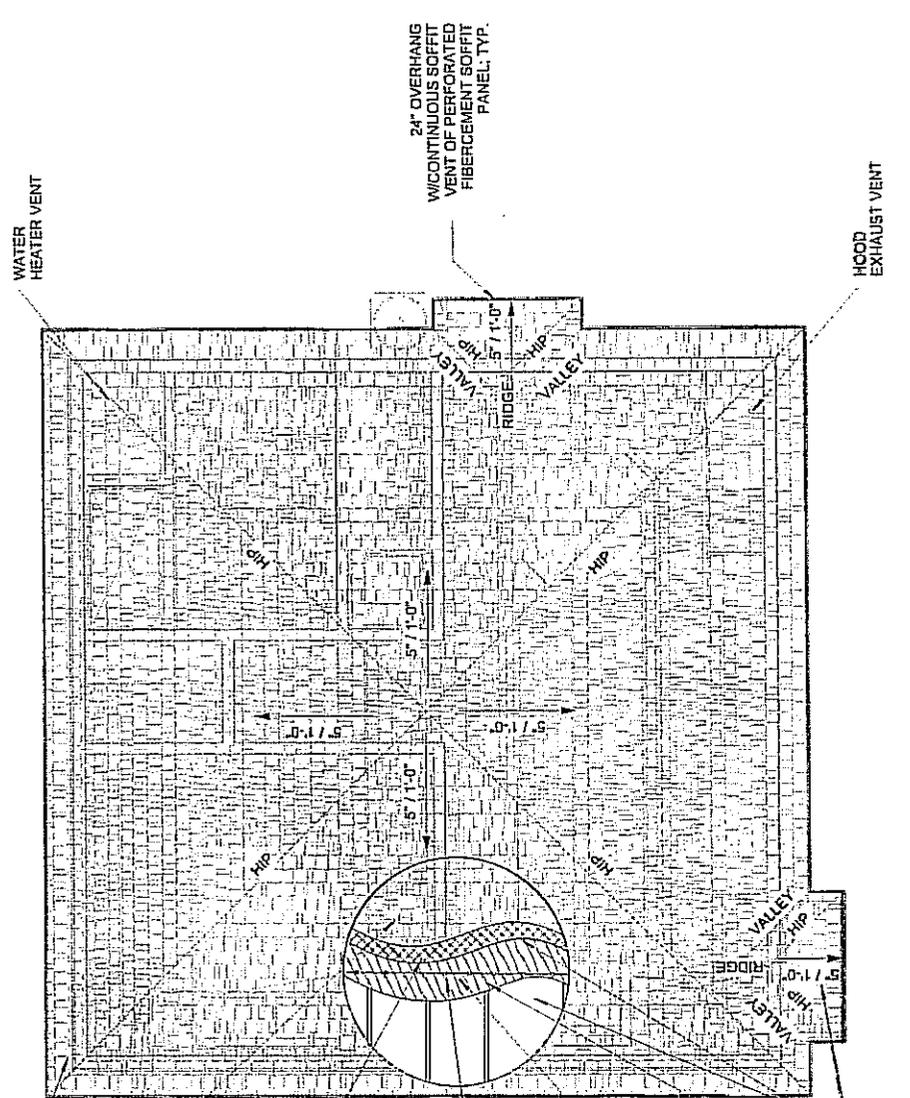
Project number	660914.01
Date	01-26-15
Drawn by	JS
Checked by	TLM
Scale: As Indicated	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% GDS	12-15-2014
3	FOR CONSTRUCTION	01-26-2015



WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

REDLINE ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041



- 12" OVERHANG W/CONTINUOUS SOFFIT VENT OF PERFORATED FIBERCEMENT SOFFIT PANEL, TYP.
- THREE TAB ASPHALT SHINGLE / 25 YRS. COLOR. SUBMIT COLOR CHIPS FOR COLOR SELECTION
- ROOFING UNDERLAYMENT COMPATIBLE WITH ASPHALT PANEL, AND IRC 2012
- PANEL CLIPS, T AND G EDGES, OR BLOCKING UNDER DECK
- LEAVE 1/8" GAP AT ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER
- DECKING PANELS INSTALL WITH LONG DIMENSION ACROSS SUPPORT STAGGER VERTICAL JOINTS WITH RADIANT BARRIER
- 2x6 FRAMING @ 24" O.C.
- 24" OVERHANG W/CONTINUOUS SOFFIT VENT OF PERFORATED FIBERCEMENT SOFFIT PANEL, TYP.

1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN	
Project number	690914.01
Date	01-28-15
Drawn by	TJM
Checked by	JJM
A203	
Scale: 1/4" = 1'-0"	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% G.D.S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

REDLINE ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

WINDOW SCHEDULE

Count	Type Mark	R.O.		Type	Finish	Glazing Type	Head Height	Comments
		Width	Height					
1	A	3'-0"	4'-0"	Double Hung			6'-8"	
1	A	3'-0"	5'-0"	Double Hung			6'-8"	
1	B	2'-0"	3'-0"	Double Hung			6'-8"	OBSOLETE GLAZING @ BATHROOM
1	B	2'-0"	3'-0"	Double Hung			6'-8"	
1	A	3'-0"	5'-0"	Double Hung			6'-8"	

NOTES:
1. ALIGN ALL WINDOWS WITH DOOR HEADERS

APPLIANCE ALLOWANCE SCHEDULE

ITEM
(3) 42" CEILING FAN/LIGHT
18.2 CU FT TOP-FREEZER REFRIGERATOR
30 GALLON WATER HEATER ENERGY STAR
30" 4-BURNER FREESTANDING RANGE
30" 4-WAY CONVERTIBLE HOOD

DOOR SCHEDULE

Mark	To Room: Name	Door		Door Finish	Frame Type	Frame Finish	Hardware Set	Comments
		Width	Height					
1	LIVING AREA	3'-0"	6'-8"	PAINT	WOOD	PAINT	ENTRANCE HW SET FRONT DOOR	MTL DOOR W/ NON REMOVABLE PIN HINGES
2	LIVING AREA	3'-0"	6'-8"	PAINT	WOOD	PAINT	OPENING KEYED ENTRANCE W/ DEADBOLT	MTL DOOR W/ LOUVERS W/ NON REMOVABLE PIN HINGES
3	LIVING AREA	5'-0"	6'-8"	PAINT	WOOD	PAINT	PULLS	
4	LIVING AREA	2'-6"	6'-8"	PAINT	WOOD	PAINT	HALL/CLOSER A/C	
5	BEDROOM	3'-0"	6'-8"	PAINT	WOOD	PAINT	PULLS	
6	BATH	3'-0"	6'-8"	PAINT	WOOD	PAINT	BED/BATH PRIVACY	
7	BEDROOM	4'-0"	6'-8"	PAINT	WOOD	PAINT	BED/BATH PRIVACY	
8	WH	2'-0"	6'-8"	PAINT	WOOD	PAINT	KEYED ENTRANCE	MTL DOOR W/ LOUVERS W/ NON REMOVABLE PIN HINGES

GENERAL NOTES:

- PROTECTION FROM DECAY SHALL BE PROVIDED TO SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
- BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1
- PROVIDE SUBTERRANEAN TERMITE CONTROL BY CHEMICAL TERMITICIDE TREATMENT SHALL INCLUDE SOIL TREATMENT AND/OR FIELD APPLIED WOOD TREATMENT. THE CONCENTRATION, RATE OF APPLICATION AND METHOD OF TREATMENT OF THE CHEMICAL TERMITICIDE SHALL BE IN STRICT ACCORDANCE WITH THE TERMITICIDE LABEL
- FIELD TREATMENT TO FIELD CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVE PRESERVATIVE-TREATED WOOD SHALL BE RETREATED IN FIELD IN ACCORDANCE WITH AWPA U1
- PROVIDE VGT ON ALL INTERIOR FLOOR AREAS
- PROVIDE HARDWARE ON ALL CASEWORK
- PROVIDE 4" VINYL BASE
- PROVIDE ALL TOILET ROOM ACCESSORIES (TOILET PAPER HOLDER, TOWEL HOOK, TOWEL RING, TOWEL BAR, SHOWER ROD & GRAB BARS)
- HVAC A MINIMUM OF 14.5 SEER
- ALL CASEWORK STAIN GRADE ASH OR OAK.
- ALL LIGHT FIXTURE AND LUMINARIES TO BE ENERGY START COMPLY.
- ALL GYPSUM WALL BOARD MUST BE MOISTURE RESISTANT/CORE AT FOLLOWING LOCATIONS:
a) Toilet Rooms
b) Wet Walls
c) Showers
- PROVIDE STERLING BY KOHLER, ENSAMBLE MODEL: 72780726 SHOWER, SCHLUTER SHOWER SYSTEM OR SIMILAR BEHIND TILE IN SHOWER WALLS AND FLOORS. REFER TO MANUFACTURER INSTALLATION GUIDELINES.

MECHANICAL REQUIREMENTS / WEATHERIZATION

- 14.5 SEER OR BETTER FOR MECHANICAL SYSTEM PENETRATIONS OF RESIDENCE.
- COMPLY WITH ALL REQUIREMENTS OF INTERNATIONAL MECHANICAL CODE 2012
- COMPLY WITH INTERNATIONAL ENERGY CODE 2009

FINISH SCHEDULE

Project number	680914.01	A204
Date	01-28-15	
Drawn by	JS	Scale
Checked by	TLM	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	85% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



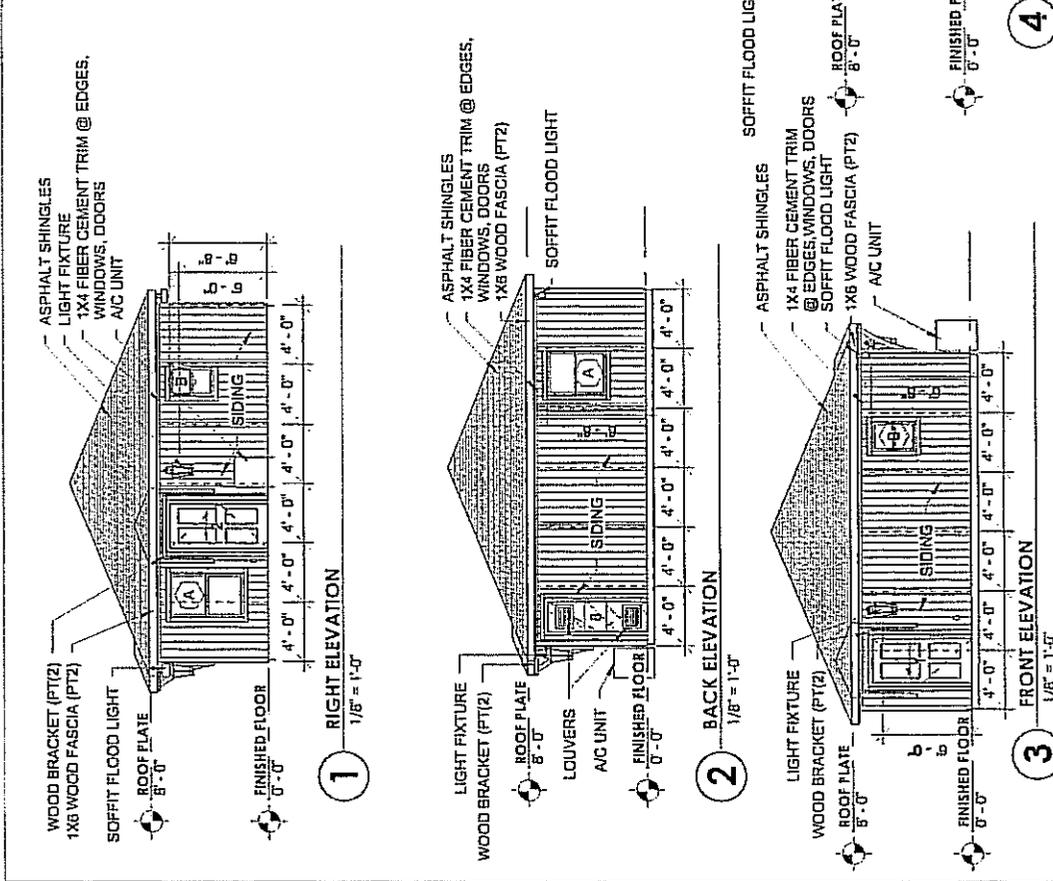
WEBB COUNTY

2014-009 "Self Help Reconstruction Program"
1 Bedroom

R. P. LITTLE
ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

<p>PAINT COLORS</p> <p>PAINT COLOR 1- EXT. BASIC COLOR</p> <p>PAINT COLOR 2 - EXT. ACCENT COLOR</p> <p>PAINT COLOR 3- INT. BASIC COLOR</p> <p>INTERIOR PAINT WARRANTY IS 12 YEARS</p> <p>EXTERIOR PAINT WARRANTY IS 15 YEARS</p>	<p>FLASHING (2012 INT. RESIDENTIAL CODE)</p> <p>R703.B Flashing.</p> <p>Approved corrosion-resistant flashing shall be applied, shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:</p> <ol style="list-style-type: none"> 1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following: <ol style="list-style-type: none"> 1.1. The installation manufacturer's installation and flashing instructions, or for applications not addressed in the installation manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. 1.2. In accordance with the flashing design or method of a registered design professional. 1.3. In accordance with other approved methods. 2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings. 3. Under and at the ends of masonry, wood or metal copings and sills. 4. Continuously above all projecting wood trim. 5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction. 6. At wall and roof intersections. 7. At built-in gutters.
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<p>SIDING, TRIM & SOFFIT</p> <p>4X8 HARDI PANEL VERTICAL SIDING (SIERRA B PANELS) OR EQUAL</p> <p>1X4 HARDITRIM XLD PLANKS OR EQUAL</p> <p>12" HARDISOFFIT (VENTED SOFFIT) PANEL OR EQUAL</p> <p>24" HARDISOFFIT (VENTED SOFFIT) PANEL @ ENTRANCES OR EQUAL</p>	<p>GENERAL NOTES:</p> <p>-ALL PRODUCTS SPECIFIED ARE USED AS BASIS OF DESIGN SUBSTITUTIONS ALLOWED WITH PRODUCTS OF EQUAL OR BETTER PERFORMANCE</p> <p>-CAULK ALL PANEL JOINTS WHERE REQUIRED REFER TO A702 FOR PANEL DETAILS</p> <p>-VERIFY ALL VENT HEIGHTS WITH APPLIANCE AND MECHANICAL EQUIPMENT MANUFACTURER AND BUILDING CODE AND BUILDING OFFICIAL</p>
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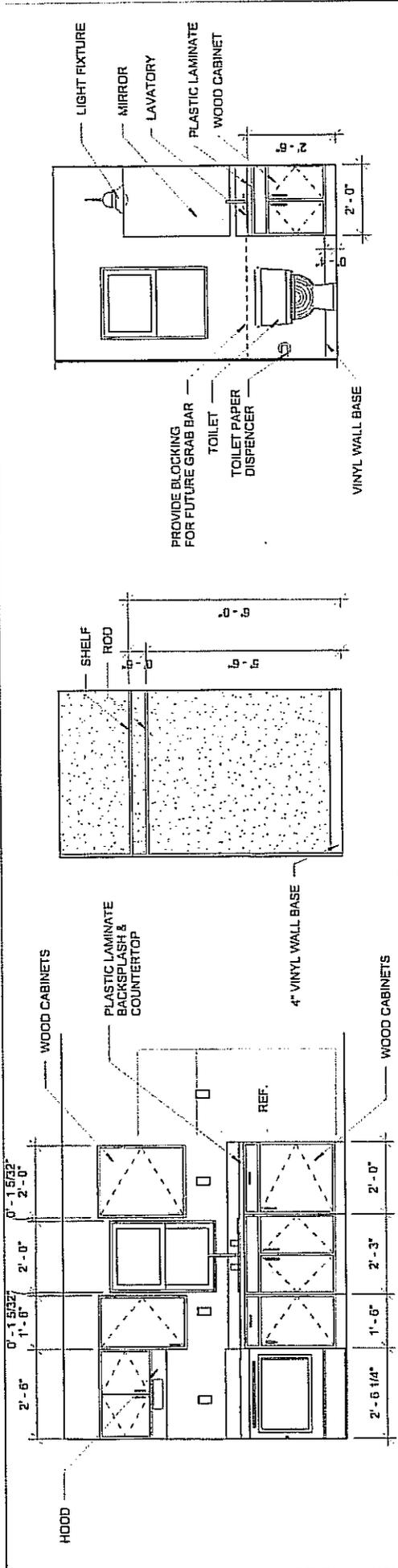
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Date	01-28-15
Drawn by	TLM
Checked by	JJM
Scale 1/8" = 1'-0"	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	85% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

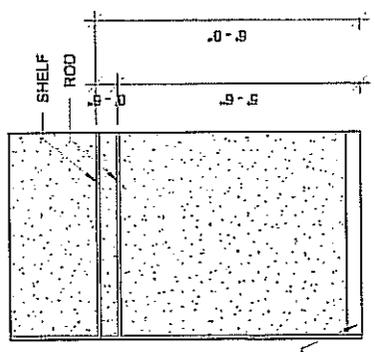


WEBB COUNTY
 2014-009 "Self Help Reconstruction Program"
 1 Bedroom

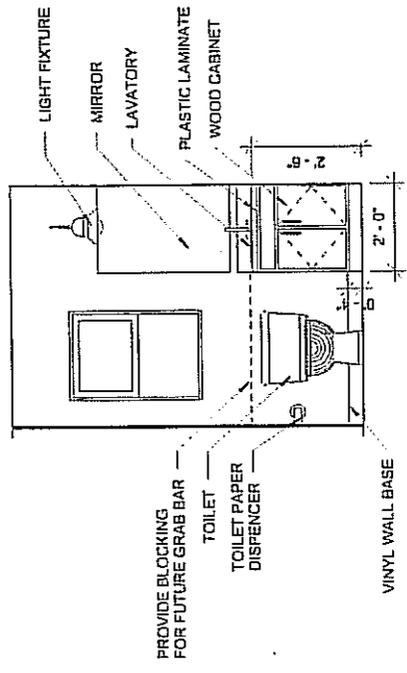
FEDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041



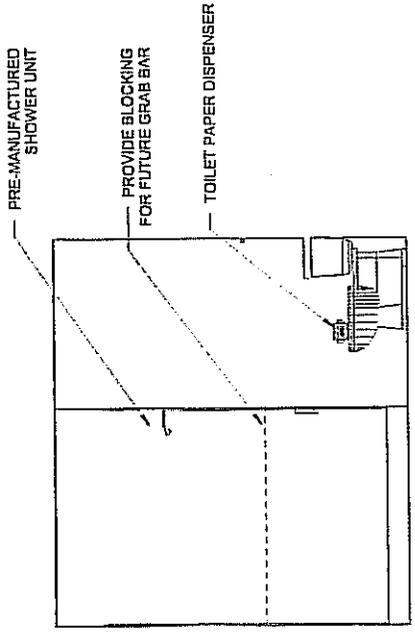
1 KITCHEN / LIVING
3/8" = 1'-0"



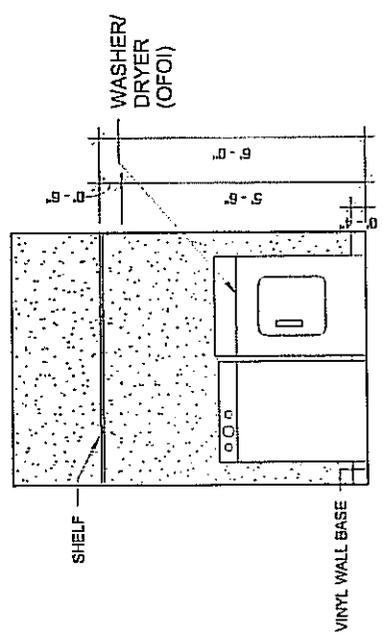
3 CLOSET 6
3/8" = 1'-0"



5 BATH A
3/8" = 1'-0"



4 BATH B
3/8" = 1'-0"



2 LAUNDRY
3/8" = 1'-0"

GENERAL NOTE:
- ALL CABINETS ARE STAIN GRADE OAK; COLOR TO BE DETERMINED
- SHOWER UNIT: STERLING BY KOHLER ENSEMBLE ED SHOWER W/ BACKER BOARDS MODEL NO: 72180126 OR EQ. CURTAIN & ROD BY OWNDER

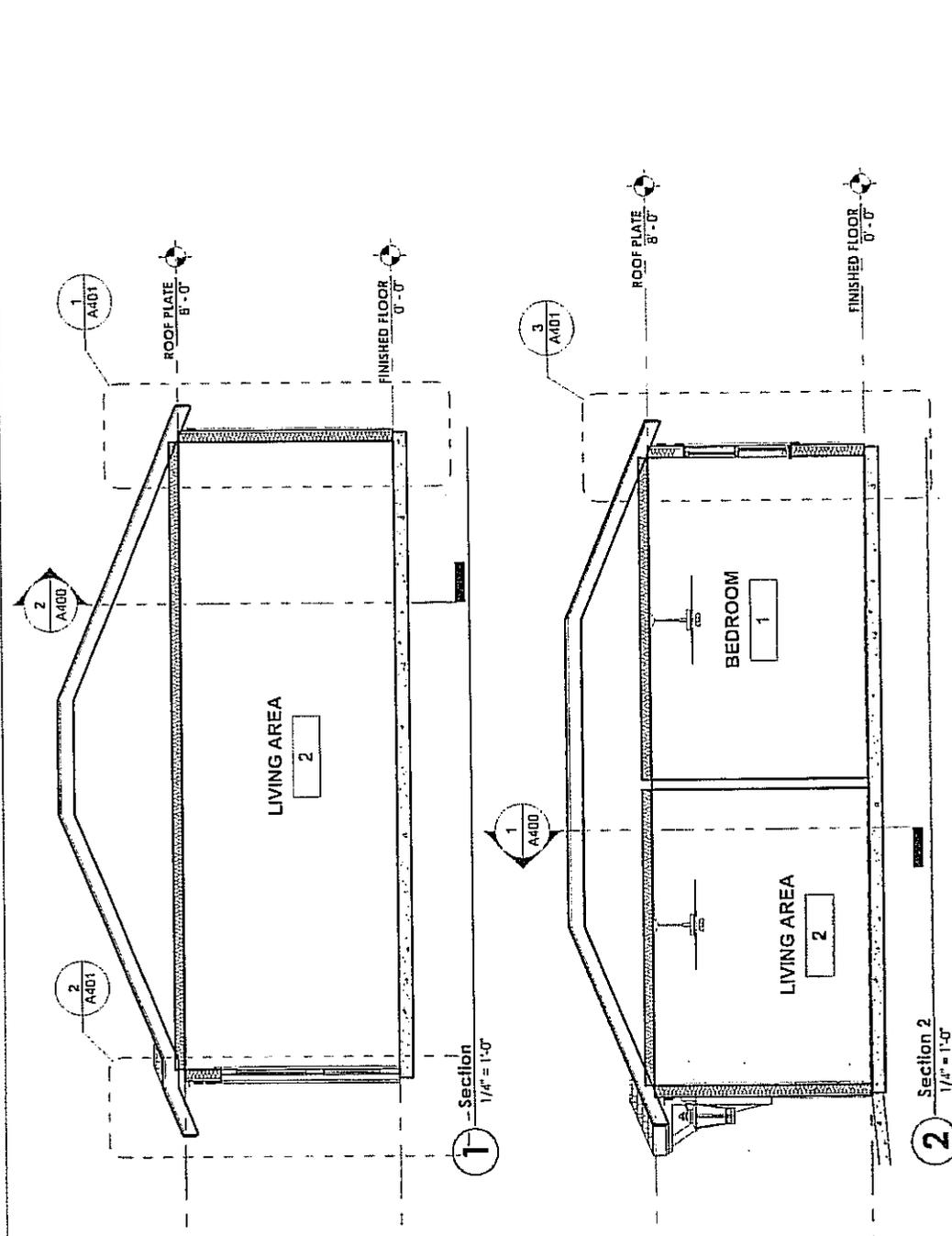
INTERIOR ELEVATIONS	
Project number	690914.01
Date	01-28-15
Drawn by	TLM
Checked by	JJM
Scale: 3/8" = 1'-0"	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

PEDLINE ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041



BUILDING SECTIONS

Project number	690914.01
Date	01-28-15
Drawn by	JS
Checked by	TLM

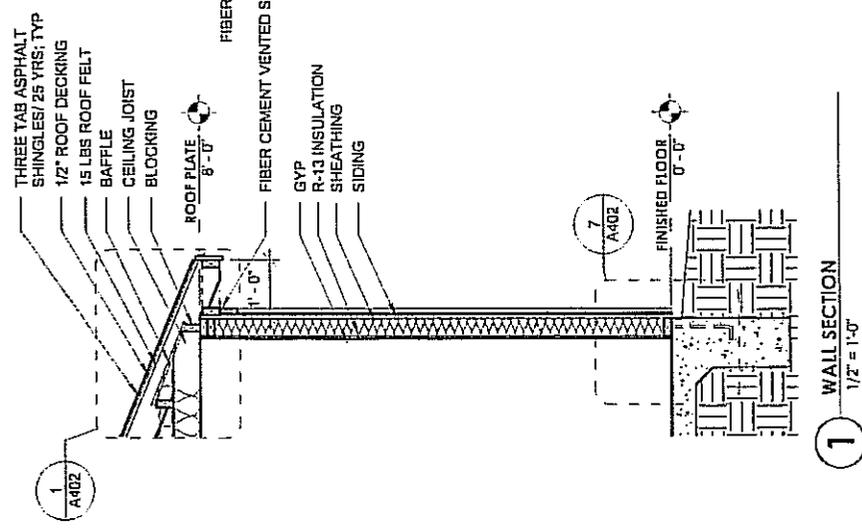
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No.	Description	Date
1	PROGRESS SET	12-04-2014
2	85% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

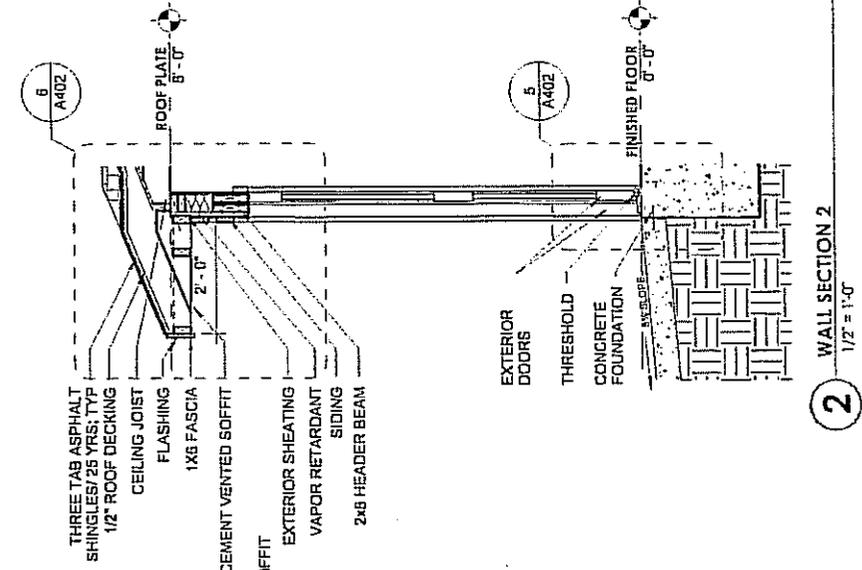


WEBB COUNTY
 2014-009 "Self Help Reconstruction Program"
 1 Bedroom

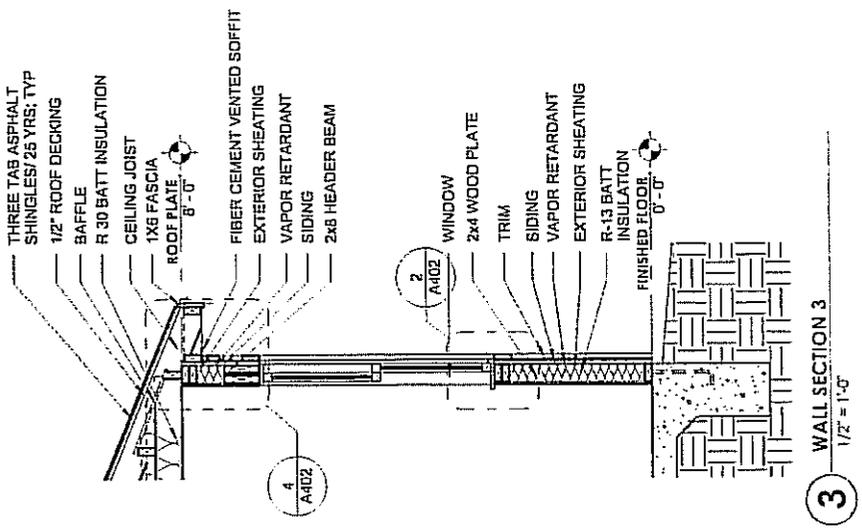
FEDLINE
 ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041



1 WALL SECTION
1/2" = 1'-0"



2 WALL SECTION 2
1/2" = 1'-0"



3 WALL SECTION 3
1/2" = 1'-0"



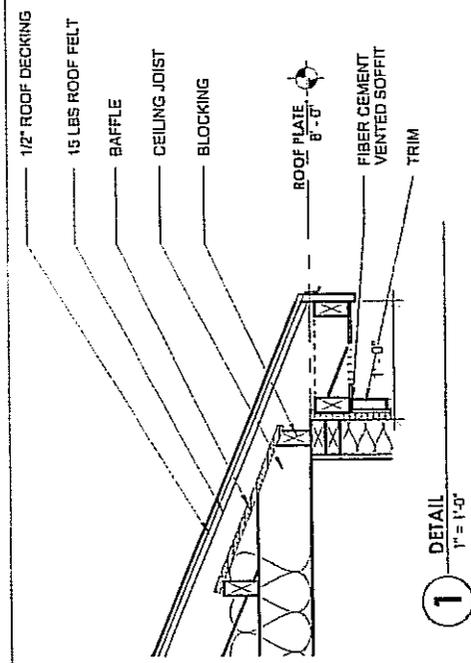
WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

RELLINE
ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

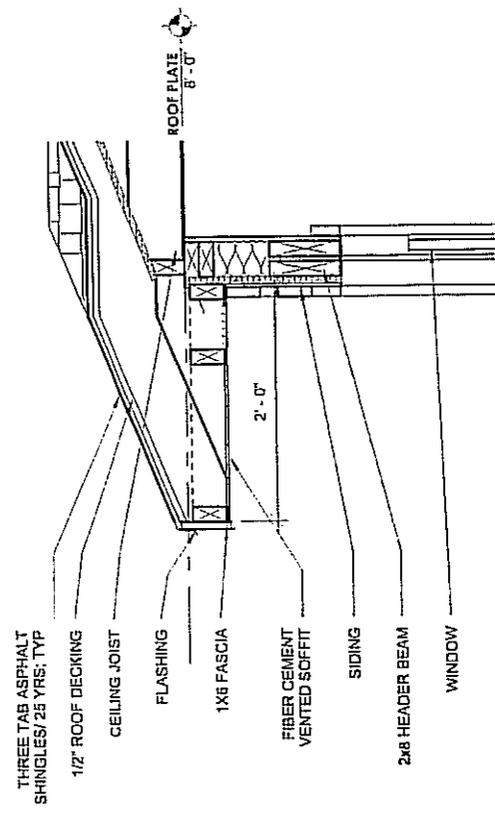
No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% DD's	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

WALL SECTIONS

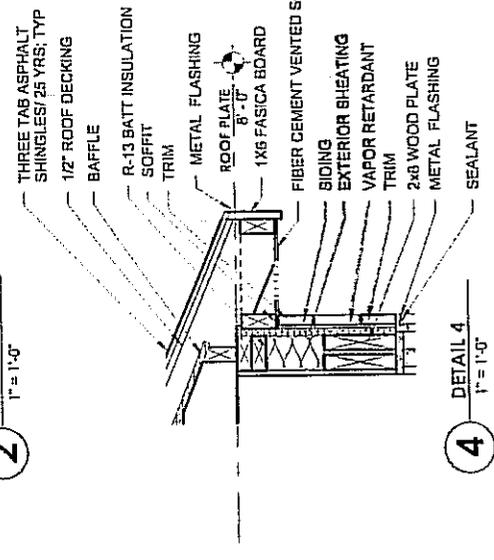
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Date: 01-28-15
Drawn by: Author
Checked by: Checker
Scale: 1/2" = 1'-0"



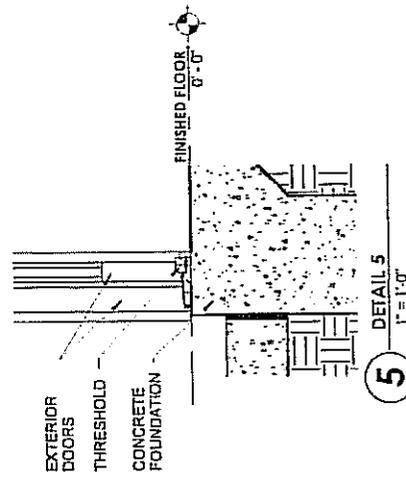
1
1" = 1'-0"



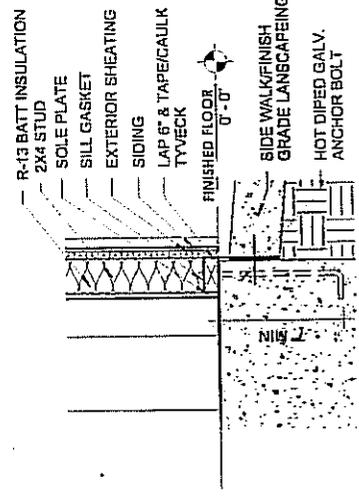
2
1" = 1'-0"



3
1" = 1'-0"



4
1" = 1'-0"



5
1" = 1'-0"



6
1" = 1'-0"

DETAIL SECTIONS

Project number	090914.01
Date	01-28-15
Drawn by	JIS
Checked by	TLM
Scale 1" = 1'-0"	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

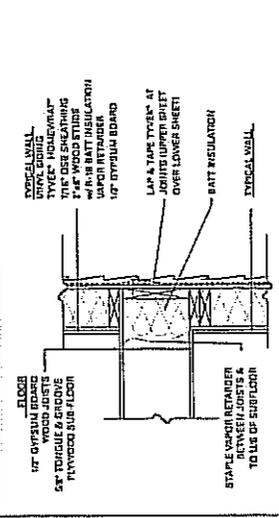


WEBB COUNTY
 2014-009 "Self Help Reconstruction Program"
 1 Bedroom

PREMIER
 ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

GENERAL NOTES

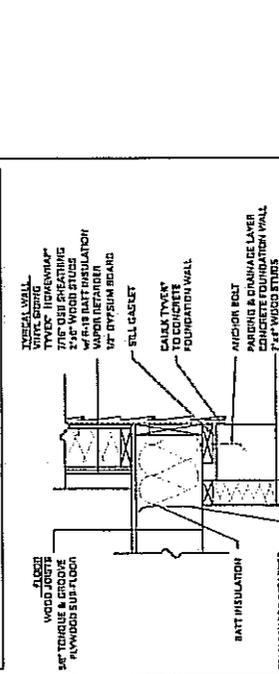
- *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
- *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS.
- *USE NAILS WITH LARGE PLASTIC WASHER HEADS, 1/4" DIAMETER W/WRAPCAP®
- *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE COVERING OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



WINDOW HEAD DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE W/ VAPOR BARRIER (HEATING CLIMATE)

GENERAL NOTES

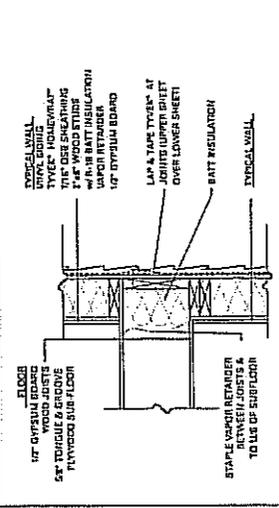
- *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
- *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS.
- *USE NAILS WITH LARGE PLASTIC WASHER HEADS, 1/4" DIAMETER W/WRAPCAP®
- *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE COVERING OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



WINDOW SILL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE W/ VAPOR BARRIER (HEATING CLIMATE)

GENERAL NOTES

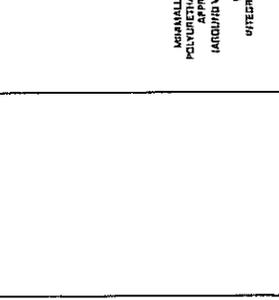
- *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
- *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS.
- *USE NAILS WITH LARGE PLASTIC WASHER HEADS, 1/4" DIAMETER W/WRAPCAP®
- *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE COVERING OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



FLOOR/WALL INTERFACE DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE W/ VAPOR BARRIER (HEATING CLIMATE)

GENERAL NOTES

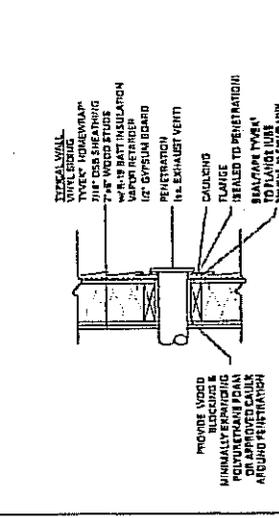
- *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
- *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS.
- *USE NAILS WITH LARGE PLASTIC WASHER HEADS, 1/4" DIAMETER W/WRAPCAP®
- *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE COVERING OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



ROOF/WALL INTERFACE DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE W/ VAPOR BARRIER (HEATING CLIMATE)

GENERAL NOTES

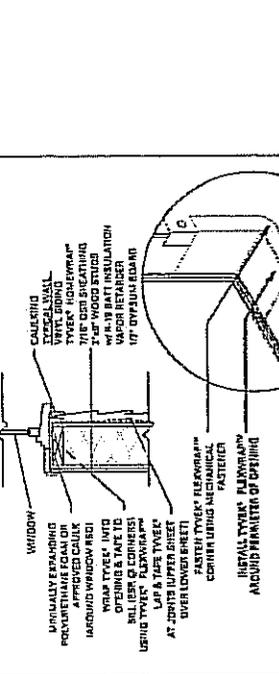
- *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
- *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS.
- *USE NAILS WITH LARGE PLASTIC WASHER HEADS, 1/4" DIAMETER W/WRAPCAP®
- *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE COVERING OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



WALL PENETRATION DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE W/ VAPOR BARRIER (HEATING CLIMATE)

GENERAL NOTES

- *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
- *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS.
- *USE NAILS WITH LARGE PLASTIC WASHER HEADS, 1/4" DIAMETER W/WRAPCAP®
- *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE COVERING OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



WINDOW BASE DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE W/ VAPOR BARRIER (HEATING CLIMATE)

HOME WRAP DETAILS

Project number	090914-01
Date	01-28-15
Drawn by	JS
Checked by	TLM

Scale: As indicated

WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

REDLINE ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

Fastener Requirements

Position fasteners 9.5mm (3/8") from panel edges and no closer than 50mm (2") away from corners.

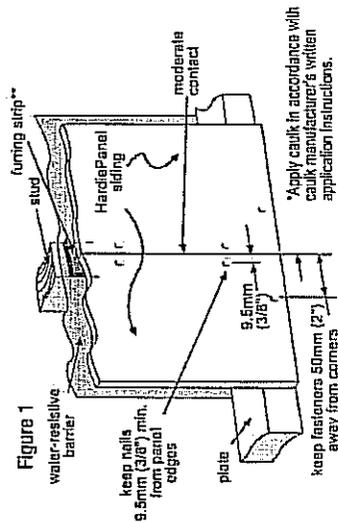


Figure 1

HardiePanel Vertical Siding Installation

- Framing must be provided at horizontal and vertical edges for fastening.
- HardiePanel vertical siding must be joined on stud.
- Double stud may be required to maintain minimum edge nailing distances.

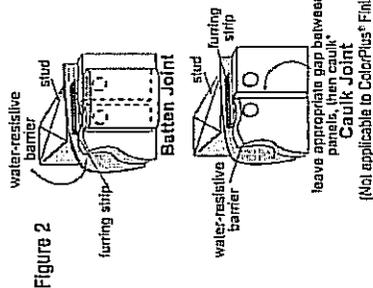


Figure 2

Joint Treatment

- Vertical Joints - Install panels in moderate contact (fig. 1), alternatively joints may also be covered with battens or caulked (Not applicable to ColorPlus® Finish) (fig. 2).
- Horizontal Joints - Provide positive slope Z-flashing at all horizontal joints (fig. 3).

Figure 3

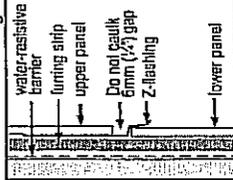
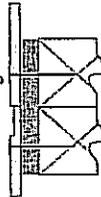


Figure 4



Recommendation: When installing Sierra B, provide a double stud at panel joints to avoid nailing through grooves.



WEBB COUNTY
2014-009 "Self Help Reconstruction Program"
1 Bedroom

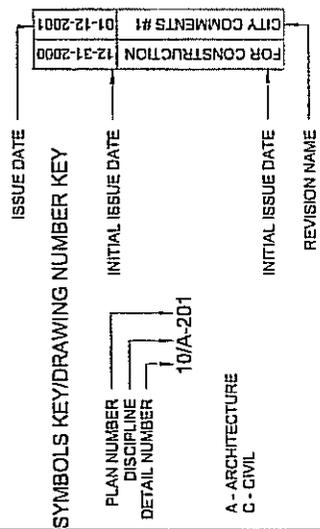
REDLINE
ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

PANEL & TRIM DETAILS	
Project number	690914.01
Date	01-28-15
Drawn by	JS
Checked by	JJM
Scale	

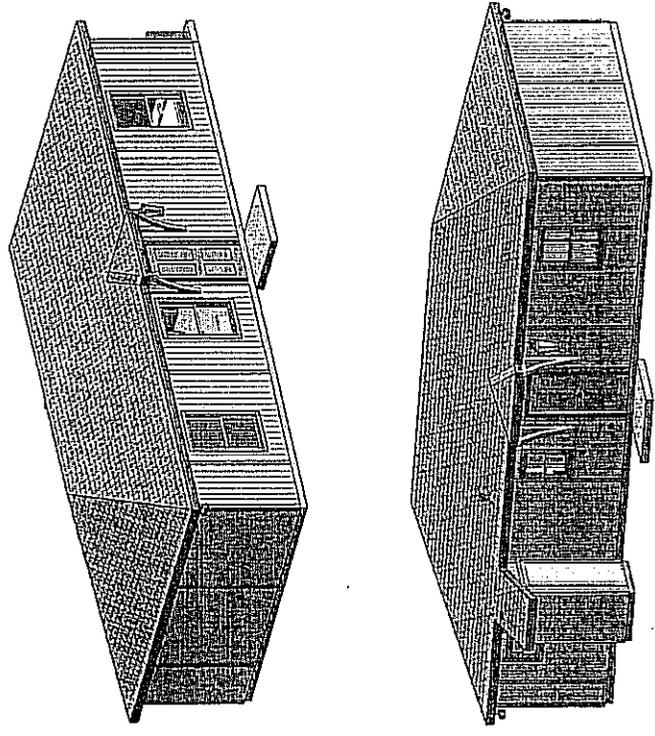
No.	Description	Date
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

<p>ARCHITECT REDLINE ARCHITECTURE, LLC. 121 CALLE DEL NORTE, SUITE 103 LAREDO, TX. 78041 PH: 956.727.5391 CONTACT: TEISSA L. MOLANO/JUAN MOLANO</p>	<p>REPRESENTATIVE WEBB COUNTY SELF-HELP CENTER 8116 HWY. 359 LAREDO, TX. 78040 PH: 956.523.4125 CONTACT: WEBB COUNTY</p>	<p>GENERAL CONTRACTOR TO BE DETERMINED</p>
<p>BUILDING CONSTRUCTION ALL BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE FOLLOWING CODES: -INTERNATIONAL RESIDENTIAL CODE 2012 -INTERNATIONAL PLUMBING CODE 2012 -INTERNATIONAL MECHANICAL CODE 2012 -INTERNATIONAL ENERGY CODE 2009 -INTERNATIONAL ELECTRICAL CODE 2011</p>		

INDEX OF DRAWINGS



ARCHITECTURAL	ISSUE DATE	REVISION NAME
A000 INDEX SHEET	DEC 4, 2014	PROGRESS SET
A100 SITE PLAN	DEC 15, 2014	95% CDS
A200 ARCHITECTURAL FLOOR PLAN	DEC 15, 2014	95% CDS
A202 ELECTRICAL LAYOUT	DEC 15, 2014	95% CDS
A203 REFLECTED CEILING PLAN	DEC 15, 2014	95% CDS
A204 ROOF PLAN	DEC 15, 2014	95% CDS
A206 FINISH SCHEDULE	DEC 15, 2014	95% CDS
A300 EXTERIOR ELEVATIONS	DEC 15, 2014	95% CDS
A301 INTERIOR ELEVATIONS	DEC 15, 2014	95% CDS
A400 BUILDING SECTIONS	DEC 15, 2014	95% CDS
A401 WALL SECTIONS	DEC 15, 2014	95% CDS
A402 DETAIL BECTIONS	DEC 15, 2014	95% CDS
A600 ROOF DETAIL B	DEC 15, 2014	95% CDS
A701 HOME WRAP DETAIL B	DEC 15, 2014	95% CDS
A702 PANEL & TRIM DETAILS	DEC 15, 2014	95% CDS



 <p>REDLINE ARCHITECTURE 121 CALLE DEL NORTE SUITE 103 LAREDO, TX 78041</p>	<p>WEBB COUNTY 2014-009 "Self-Help Center Reconstruction Program" 3 Bedroom</p>	
<p>INDEX SHEET</p> <p>Project number: 690914 .03 Date: 01-28-2015 Drawn by: JS Checked by: TLM Scale:</p>		
No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CDS	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

GENERAL NOTE:

TEMPORARY SANITARY FACILITIES AND WASTE REMOVAL FACILITIES TO BE PROVIDED BY GC.

TERMITE PROTECTION:

ACCORDING TO FIGURE R301.2(6) TERMITE INFESTATION PROBABILITY MAP LAREDO IS LOCATED IN A MODERATE TO HEAVY TERMITE AREA AND SHOULD ABIDE BY THE FOLLOWING:

SECTION R318 PROTECTION AGAINST SUBTERRANEAN TERMITES

R318.1 Subterranean termite control methods. In areas subject to damage from termites as indicated by Table R301.2(1), methods of protection shall be one of the following:
 1. Chemical termiticide treatment, as provided in Section R318.4
 2. Physical barriers as provided in Section R318.3 and used in localities as specified in Section R317.1.
 3. Cold-formed steel framing in accordance with Sections R505.2.1 and R603.2.1.
 4. Naturally durable termite-resistant wood.
 5. Physical barriers as provided in Section R318.3 and used in localities as specified in Section R317.1.
 6. Cold-formed steel framing in accordance with Sections R505.2.1 and R603.2.1.

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 1. Chemical termiticide treatment, as provided in Section R318.4
 2. Termite baiting system installed and maintained according to the label.
 3. Pressure-preservative-treated wood in accordance with the provisions of Section R317.1.
 4. Naturally durable termite-resistant wood.
 5. Physical barriers as provided in Section R318.3 and used in localities as specified in Section R317.1.
 6. Cold-formed steel framing in accordance with Sections R505.2.1 and R603.2.1.
 R318.1.1 Quality mark. Lumber and plywood required to be pressure-preservative-treated in accordance with Section R310.1 shall bear the quality mark of an approved inspection agency which maintains continuing testing and inspection over the quality of the product and which has been approved by an accreditation body which complies with the requirements of the American Lumber Standard Committee treated wood program.
 R318.1.2 Field treatment. Field-cut ends, notches, and drilled holes of pressure-preservative-treated wood shall be retreated in the field in accordance with AWWPA M4.
 R318.2 Chemical termiticide treatment. Chemical termiticide treatment shall include soil treatment and/or field applied wood treatment. The concentration, rate of application and method of treatment of the chemical termiticide shall be in strict accordance with the termiticide label.
 R318.3 Barriers. Approved physical barriers, such as metal or plastic sheathing or collars specifically designed for termite prevention, shall be installed in a manner to prevent termites from entering the structure. Shields placed on top of an exterior foundation wall are permitted to be used only if in combination with another method of protection.

ACCORDING TO FIGURE R301.2(6) TERMITE INFESTATION PROBABILITY MAP LAREDO IS LOCATED IN A MODERATE TO HEAVY TERMITE AREA AND SHOULD ABIDE BY THE FOLLOWING:

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FLASHING AT FOUNDATION (2012 RESIDENTIAL CODE):

R703.12.2 Flashing at foundation.
 A corrosion-resistant screed or flashing of a minimum 0.019-inch (0.48 mm) or 26-gauge galvanized or plastic with a minimum vertical attachment flange of 3/12 inches (25 mm) shall be installed in a detail a minimum of 1 inch (25 mm) below the foundation plates like an exterior stud walls in accordance with Section R703.6. The water-resistive barrier, as required by Table R703.4, Poinciana w. shall lap over the exterior of the attachment flange of the screed or flashing.

SITE PLAN LEGENDS

-  LANDSCAPING BED
-  SODDED AREA
-  CONCRETE; RE: CIVIL
-  DECOMPOSED GRANITE AND/OR P GRAVEL



WEBB COUNTY
 2014-009 "Self-Help Center Reconstruction Program"
 3 Bedroom

REDLINE
 ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

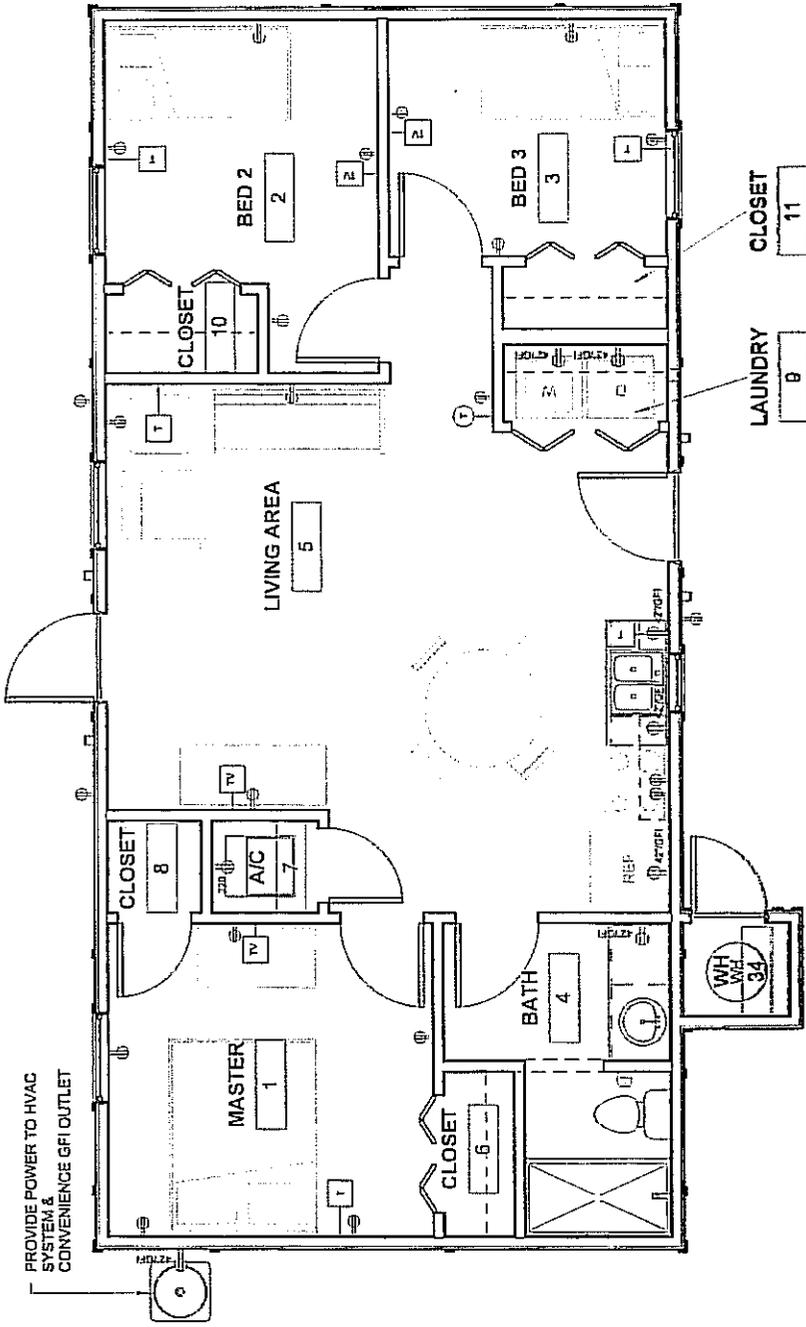
No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% GDS	12-15-2014
3	FOR CONSTRUCTION	01-28-2015

SITE PLAN	
Project number	690914_03
Date	01-28-2015
Drawn by	TLM
Checked by	JJM
Scale	A100



ELECTRICAL & RCP LEGEND

⊕	EXHAUST FAN WITH LIGHT, VENT TO EXTERIOR
○	RECESSED DOWNLIGHT
○	PENDANT LIGHT
⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE & SMOKE DETECTOR
⊕	FAN WITH LIGHT KIT
⊕	FLOOR LIGHTS
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	110 DUPLEX OUTLET
⊕	110 DUPLEX - ABOVE COUNTER
⊕	110 DUPLEX - GROUND FAULT INTERRUPTER
⊕	CABLE TELEVISION OUTLET
⊕	TELEPHONE CABLE
⊕	THERMOSTAT
⊕	DOOR BELL BUTTON
⊕	DOOR BELL CHIME
⊕	WEATHERPROOF LIGHTING
⊕	WALL SCOINCE
⊕	EXHAUST VENT



GENERAL NOTE:

- EACH ELECTRICAL PANEL, LIGHT SWITCHES, OR THERMOSTAT IS NOT HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- EACH ELECTRICAL PLUG OR OTHER RECEPTACLE IS AT LEAST 15" ABOVE FLOOR
- EACH BREAKER BOX IS LOCATED NOT HIGHER THAN 48" ABOVE THE FLOOR.

ELECTRICAL LAYOUT

Project number	690914 .03
Date	01-28-2015
Drawn by	JS
Checked by	TLM
Scale: As indicated	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% G.O.S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



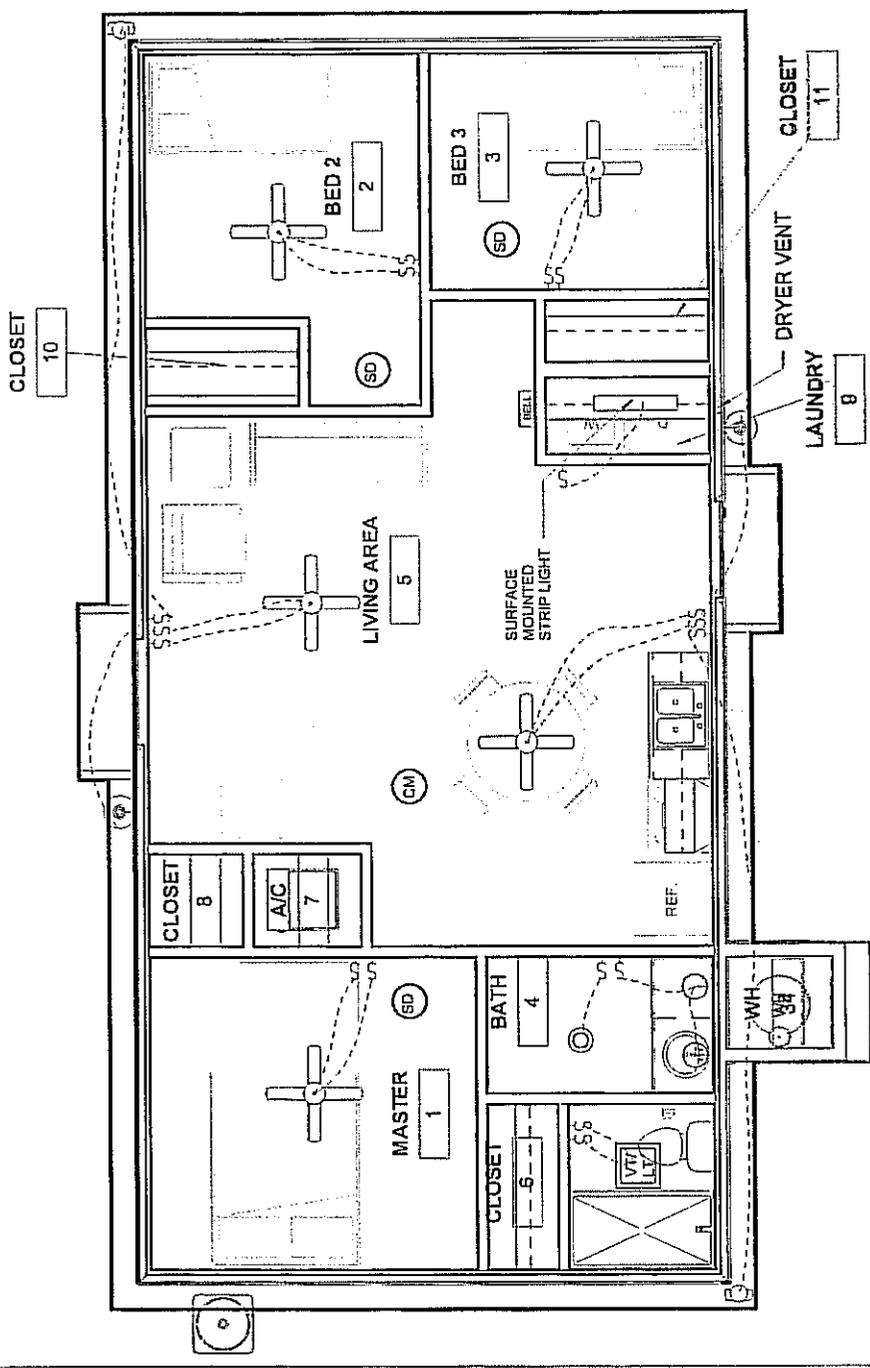
WEBB COUNTY
 2014-008 "Self-Help Center Reconstruction Program"
 3 Bedroom

REDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

1 ELECTRIC PLAN
 1/4" = 1'-0"

ELECTRICAL & RCP LEGEND

○	EMERGENCY LIGHT - VISIT TO EXTERIOR
○	RECESSED DOWNLIGHT
○	PERIMETER LIGHT
⊗	SMOKE DETECTOR
⊗	CARBON MONOXIDE & SMOKE DETECTOR
⊗	FAN WITH LIGHT KIT
⊗	FLOOD LIGHTS
⊗	WALL MOUNTED LIGHT FIXTURE
⊗	110 DIMPLES OUTLET
⊗	110 DIMPLES - ABOVE COUNTER
⊗	110 DIMPLES - GROUND FAULT INTERRUPTER
⊗	CABLE TELEVISION OUTLET
⊗	TELEPHONE CABLE
⊗	TELEPHONE
⊗	110 DIMPLES
⊗	DOOR BELL SWITCH
⊗	DOOR BELL CHIME
⊗	WEATHERPROOF LIGHTING
⊗	WALL SCROUSE
⊗	EXHAUST VENT



1 REFLECTED CEILING PLAN
1/4" = 1'-0"

REFLECTED CEILING PLAN

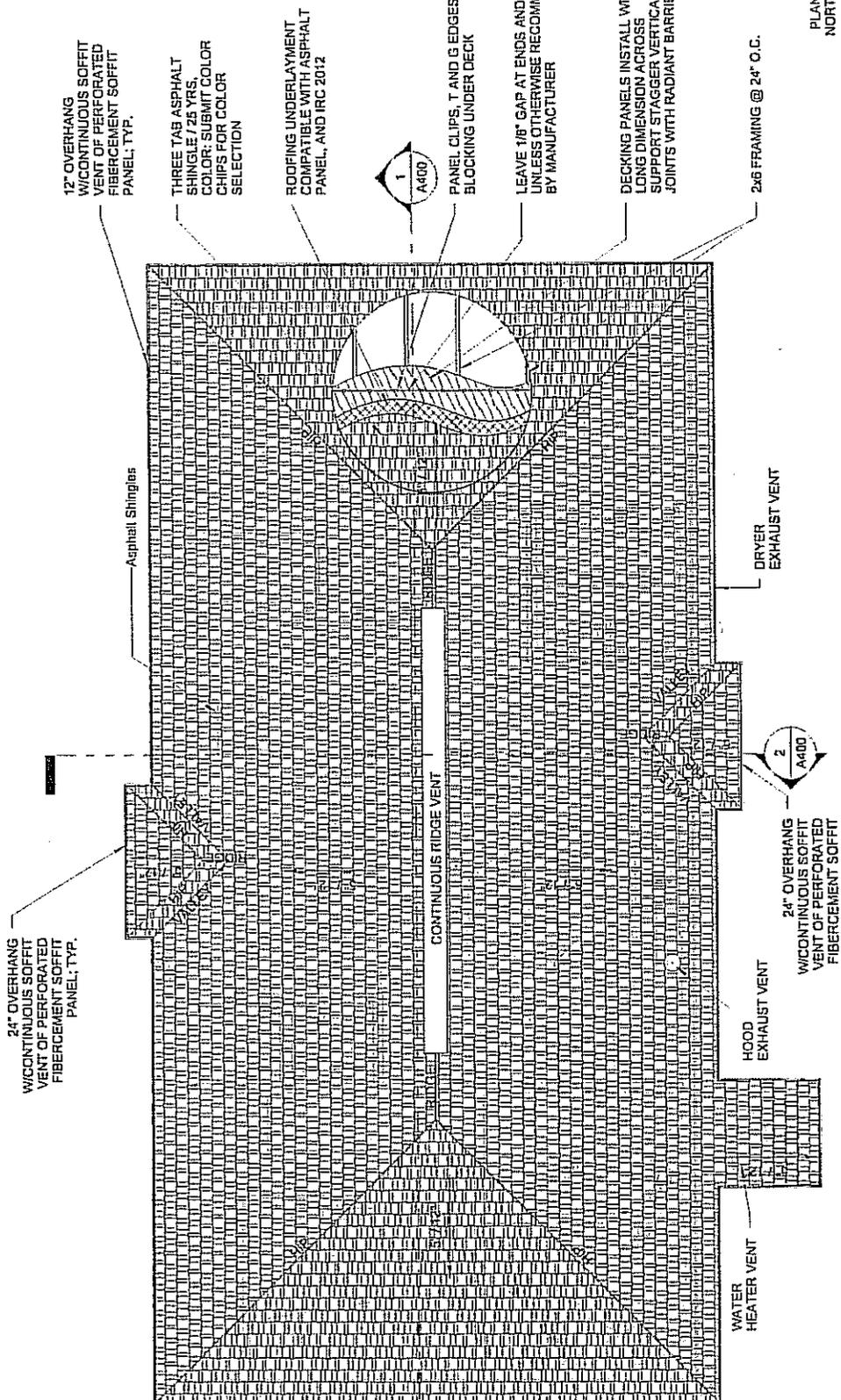
Project number: 690914_03
 Date: 01-28-2015
 Drawn by: JS
 Checked by: TLM
 Scale As Indicated

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



WEBB COUNTY
 2014-009 "Self-Help Center Reconstruction Program"
 3 Bedroom

REDLINE
 ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041



12" OVERHANG
W/CONTINUOUS SOFFIT
VENT OF PERFORATED
FIBERCEMENT SOFFIT
PANEL, TYP.

THREE TAB ASPHALT
SHINGLE / 25 YRS.
COLOR: SUBMIT COLOR
CHIPS FOR COLOR
SELECTION

ROOFING UNDERLAYMENT
COMPATIBLE WITH ASPHALT
PANEL, AND IRC 2012

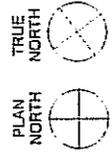


PANEL CLIPS, T AND G EDGES, OR
BLOCKING UNDER DECK

LEAVE 1/8" GAP AT ENDS AND EDGES
UNLESS OTHERWISE RECOMMENDED
BY MANUFACTURER

DECKING PANELS INSTALL WITH
LONG DIMENSION ACROSS
SUPPORT STAGGER VERTICAL
JOINTS WITH RADIANT BARRIER

2x6 FRAMING @ 24" O.C.



24" OVERHANG
W/CONTINUOUS SOFFIT
VENT OF PERFORATED
FIBERCEMENT SOFFIT
PANEL, TYP.

Asphalt Shingles

CONTINUOUS RIDGE VENT

DRYER
EXHAUST VENT

HOOD
EXHAUST VENT

24" OVERHANG
W/CONTINUOUS SOFFIT
VENT OF PERFORATED
FIBERCEMENT SOFFIT
PANEL, TYP.



1 ROOF PLAN
1/4" = 1'-0"



WEBB COUNTY
2014-008 "Self-Help Center Reconstruction Program"
3 Bedroom

REDLINE
ARCHITECTURE
121 CALLE DEL NORTE SURTE 103
LAREDO, TX 78041

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CDS	12-16-2014
3	FOR CONSTRUCTION	01-28-2015

ROOF PLAN	
Project number	590914_03
Date	01-28-2015
Drawn by	TJM
Checked by	JJM
Scale 1/4" = 1'-0"	

A204

GENERAL NOTES:

1. PROTECTION FROM DECAY SHALL BE PROVIDED TO SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
2. BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRESERVATIVE AND END USE.
3. PRESERVATIVE SHALL BE LISTED IN SECTION 4 OF AWPA U1
4. PROVIDE SUBTERRANEAN TERMITES CONTROL BY CHEMICAL TREATMENT AND/OR FIELD APPLIED WOOD SOIL TREATMENT. THE CONCENTRATION, RATE OF APPLICATION AND METHOD OF TREATMENT OF THE CHEMICAL TREATMENT SHALL BE IN STRICT ACCORDANCE WITH THE TREATMENT LABEL.
5. FIELD TREATMENT TO FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OR PRESSURE-PRESERVATIVE-TREATED WOOD SHALL BE RETREATED IN FIELD IN ACCORDANCE WITH AWPA U1.
6. PROVIDE VCT ON ALL INTERIOR FLOOR AREAS
7. PROVIDE HARDWARE ON ALL CASEWORK
8. PROVIDE 4" VINYL BASE
9. PROVIDE ALL TOILET ROOM ACCESSORIES (TOILET PAPER HOLDER, TOWEL HOOK, TOWEL RING, TOWEL BAR, SHOWER ROD & GRAB BARS)
10. HVAC A MINIMUM OF 14.5 SEER
11. ALL CASEWORK STAIN GRADE ASH OR OAK. ENERGY START COMPLY.
12. ALL GYPSUM WALL BOARD MUST BE MOISTURE RESISTANT CORE AT FOLLOWING LOCATIONS:
 - a) Toilet Rooms
 - b) Wet Walls
 - c) Showers
13. PROVIDE STERLING BY KHOLER ENSEMBLE MODEL: T2160726, SCHLUTER SHOWER SYSTEM OR SIMILAR BEHIND TILE IN SHOWER WALLS AND FLOORS. REFER TO MANUFACTURER INSTALLATION GUIDELINES.

MECHANICAL REQUIREMENTS / WEATHERIZATION

- 1) 14.5 SEER OR BETTER FOR MECHANICAL SYSTEM PENETRATIONS OF RESIDENCE.
- 3) COMPLY WITH ALL REQUIREMENTS OF INTERNATIONAL MECHANICAL CODE 2012
- 4) COMPLY WITH INTERNATIONAL ENERGY CODE 2009

WINDOW SCHEDULE

Count	Type Mark	R.O.		Type	Finish	Glazing		Head Height	Comments
		Width	Height			Type			
1	A	3'-0"	5'-0"	Double Hung	PAINT	DOUBLE PANEL INSULATED LOWE	6'-8"	6'-8"	OBSOLETE GLAZING
1	B	2'-0"	2'-0"	Double Hung	PAINT	DOUBLE PANEL INSULATED LOWE	6'-8"	6'-8"	
1	D	2'-0"	3'-0"	Double Hung	PAINT	DOUBLE PANEL INSULATED LOWE	6'-8"	6'-8"	
1	A	3'-0"	5'-0"	Double Hung	PAINT	DOUBLE PANEL INSULATED LOWE	6'-8"	6'-8"	
1	A	3'-0"	4'-0"	Double Hung	PAINT	DOUBLE PANEL INSULATED LOWE	6'-8"	6'-8"	
1	A	3'-0"	5'-0"	Double Hung	PAINT	DOUBLE PANEL INSULATED LOWE	6'-8"	6'-8"	

APPLIANCE ALLOWANCE SCHEDULE

ITEM	COST
(5) 42" CEILING FAN/LIGHT KIT	
18.2 CU FT TOP-FREEZER REFRIGERATOR	
30 GALLON WATER HEATER ENERGY STAR	
30" 4-BURNER FREESTANDING RANGE	
30" 4-WAY CONVERTIBLE HOOD	
ELECTRIC	

NOTES:

1. ALIGN ALL WINDOWS WITH DOOR HEADERS

DOOR SCHEDULE

Door Numb.	To Room:	Name	Width	Height	Door Thickness	Door Finish	Frame		Hardware Set	Comments:
							Frame Type	Frame Finish		
1	LIVING AREA	3'-0"	6'-8"	0'-2"	PAINT	WOOD	PAINT	ENTRANCE HANDLE SET FRONT DOOR	MTL DOOR W/ NON REMOVABLE PIN HINGES	
3	LIVING AREA	2'-6"	6'-8"	0'-2"	PAINT	WOOD	PAINT	HALLCLOSER A/C	W/ LOUVER	
4	MASTER	2'-10"	6'-8"	0'-2"	PAINT	WOOD	PAINT	BED/BATH PRIVACY		
5	MASTER	4'-0"	6'-8"	0'-1 1/2"	PAINT	WOOD	PAINT	PULLS		
6	BATH	2'-10"	6'-8"	0'-2"	PAINT	WOOD	PAINT	BED/BATH PRIVACY	BATHROOM OPENING	
7	BATH	2'-8"	7'-0"	0'-2"	PAINT	WOOD	PAINT	NONE	MTL DOOR	
8	LIVING AREA	3'-0"	6'-8"	0'-2"	PAINT	WOOD	PAINT	KEYED ENTRANCE W/ DEADBOLT REAR DOOR		
9	LIVING AREA	6'-0"	6'-8"	0'-1 1/2"	PAINT	WOOD	PAINT	PULLS		
10	BED 3	4'-0"	6'-8"	0'-1 1/2"	PAINT	WOOD	PAINT	PULLS		
11	BED 2	2'-10"	6'-8"	0'-2"	PAINT	WOOD	PAINT	BED/BATH PRIVACY		
12	BED 2	2'-10"	6'-8"	0'-2"	PAINT	WOOD	PAINT	BED/BATH PRIVACY		
13	BED 2	4'-0"	6'-8"	0'-1 1/2"	PAINT	WOOD	PAINT	PULLS		
15	MASTER	2'-6"	6'-8"	0'-2"	PAINT	WOOD	PAINT	BED/BATH PRIVACY		
16	WH	2'-6"	6'-8"	0'-2"	PAINT	WOOD	PAINT	KEYED ENTRANCE	MTL DOOR W/ LOUVERS/ NON REMOVABLE PIN HINGES	

FINISH SCHEDULE

Project number	890914 .03
Date	01-28-2015
Drawn by	JS
Checked by	TLM
Scale	

A206

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	85% CDS	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



WEBB COUNTY
 2014-009 "Self-Help Center Reconstruction Program"
 3 Bedroom

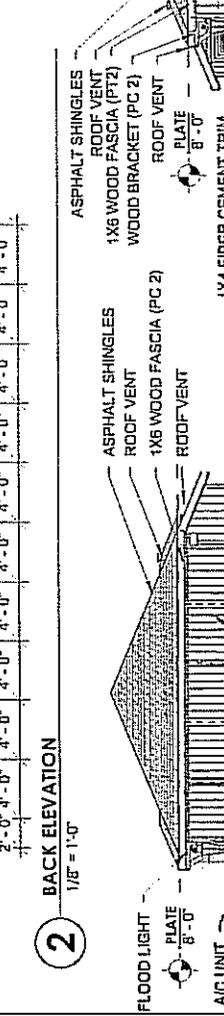
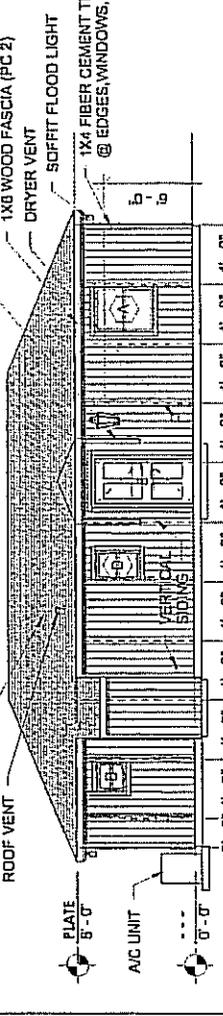
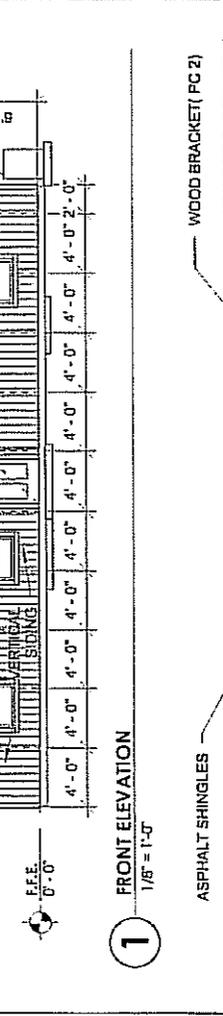
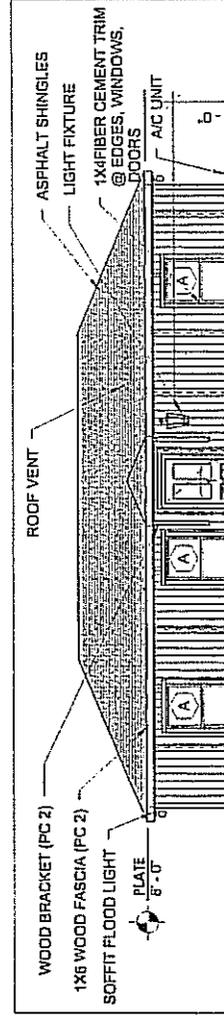
REDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

PAINT COLORS
 PAINT COLOR 1- EXT. BASIC COLOR
 PAINT COLOR 2 - EXT. ACCENT COLOR
 PAINT COLOR 3- INT. BASIC COLOR
 INTERIOR PAINT WARRANTY IS 12 YEARS
 EXTERIOR PAINT WARRANTY IS 15 YEARS

FLASHING (2012 INT. RESIDENTIAL CODE)
 RT03.B Flashing.
 Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:
 1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistant barrier for subsequent drainage. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:
 1.1. The fenestration manufacturer's installation and flashing instructions, or for applications not addressed in the fenestration manufacturer's instructions, in accordance with the flashing manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish, not the water-resistant barrier, for subsequent drainage.
 Openings using pan flashing shall also incorporate flashing or protection at the head and sills.
 1.2. In accordance with the flashing design or method of a registered design professional.
 1.3. In accordance with other approved methods.
 2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
 3. Under and at the ends of masonry, wood or metal copings and sills.
 4. Continuously above all projecting wood trim.
 5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
 6. At wall and roof intersections.
 7. At built-in gutters.

SIDING, TRIM & SOFFIT
 4X8 HARDI PANEL VERTICAL SIDING (SIERRA B PANELS) OR EQUAL
 1X4 HARDITRIM XLD PLANKS OR EQUAL
 12" HARDISOFFIT (VENTED SOFFIT) PANEL OR EQUAL
 24" HARDISOFFIT (VENTED SOFFIT) PANEL @ ENTRANCES OR EQUAL

GENERAL NOTES:
 -ALL PRODUCTS SPECIFIED ARE USED AS BASIS OF DESIGN SUBSTITUTIONS ALLOWED WITH PRODUCTS OF EQUAL OR BETTER PERFORMANCE
 -CAULK ALL PANEL JOINTS WHERE REQUIRED REFER TO A702 FOR PANEL DETAILS
 -VERIFY ALL VENT HEIGHTS WITH APPLIANCE AND MECHANICAL EQUIPMENT MANUFACTURER AND BUILDING CODE AND BUILDING OFFICIAL



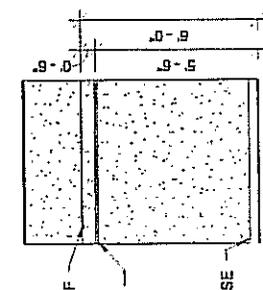
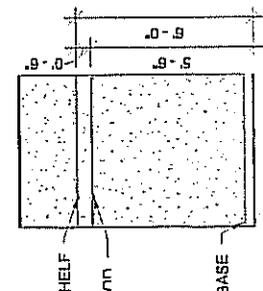
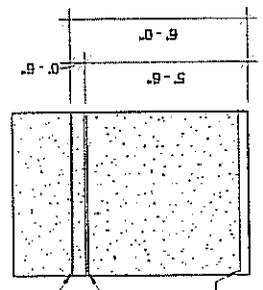
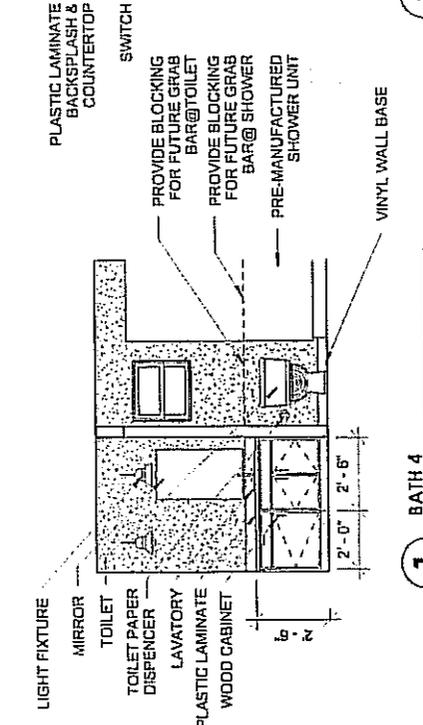
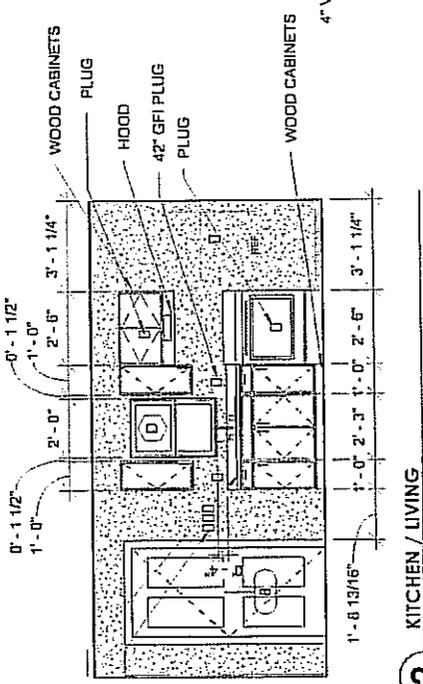
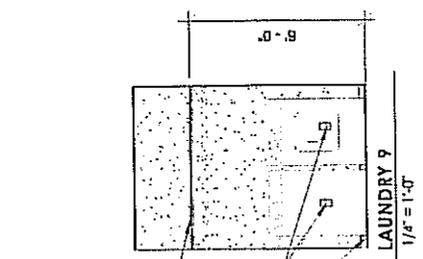
EXTERIOR ELEVATIONS
 Project number 690914_03
 Date 01-28-2015
 Drawn by JS
 Checked by TLM
 Scale 1/8" = 1'-0"

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	85% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



WEBB COUNTY
 2014-008 "Self-Help Center Reconstruction Program"
 3 Bedroom

REDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041



GENERAL NOTE:

- ALL CABINETS ARE STAIN GRADE OAK; COLOR TO BE DETERMINED

- SHOWER UNIT: STERLING BY KOHLER ENSEMBLED SHOWER W/ BACKER BOARDS OR EQ
MODEL NO: 72180128 OR EQ.
CURTAIN & ROD BY OWNER

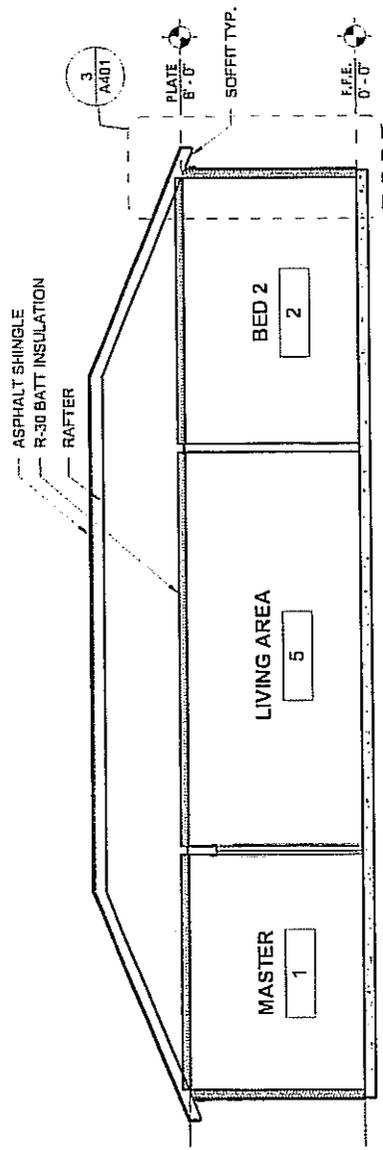
INTERIOR ELEVATIONS	
Project number	600914_03
Date	01-26-2015
Drawn by	JS
Checked by	TLM
Scale 1/4" = 1'-0"	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	65% CDS	12-15-2014
3	FOR CONSTRUCTION	01-26-2015

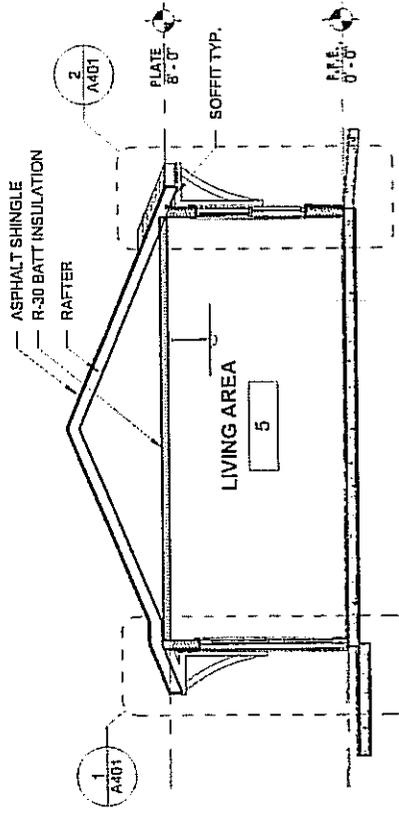


WEBB COUNTY
2014-009 "Self-Help Center Reconstruction Program"
3 Bedroom

REDLINE ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041



1 SECTION A
3/16" = 1'-0"



2 SECTION B
3/16" = 1'-0"

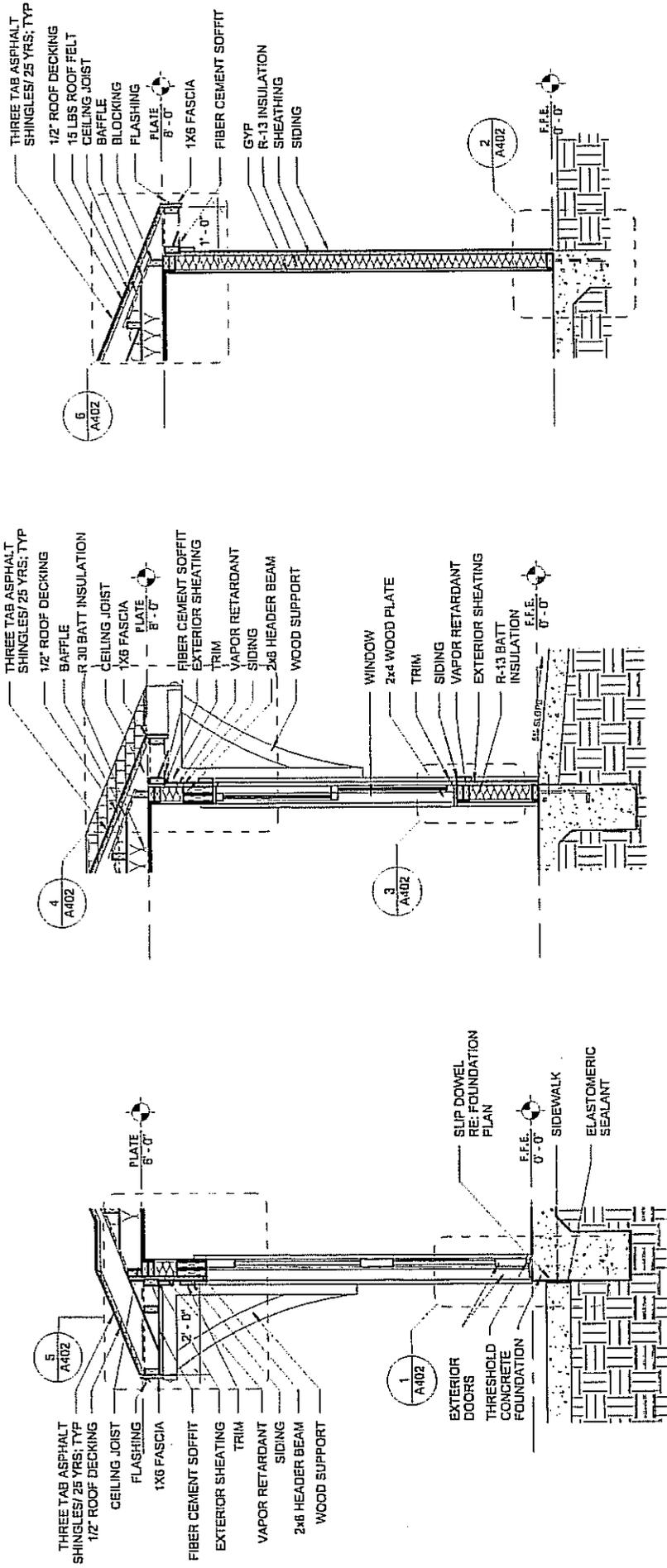
BUILDING SECTIONS	
Project number	660914_03
Date	01-28-2015
Drawn by	JS
Checked by	TLM
Scale 3/16" = 1'-0"	

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	85% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



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 2014-009 "Self-Help Center Reconstruction Program"
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 121 CALLE DEL NORTE SUITE 103
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1 TYP. WALL SECTION @ DOOR
1/2" = 1'-0"

2 TYP. WALL SECTION @ WINDOW
1/2" = 1'-0"

3 TYP. WALL SECTION
1/2" = 1'-0"



WEBB COUNTY
2014-009 "Self-Help Center Reconstruction Program"
3 Bedroom

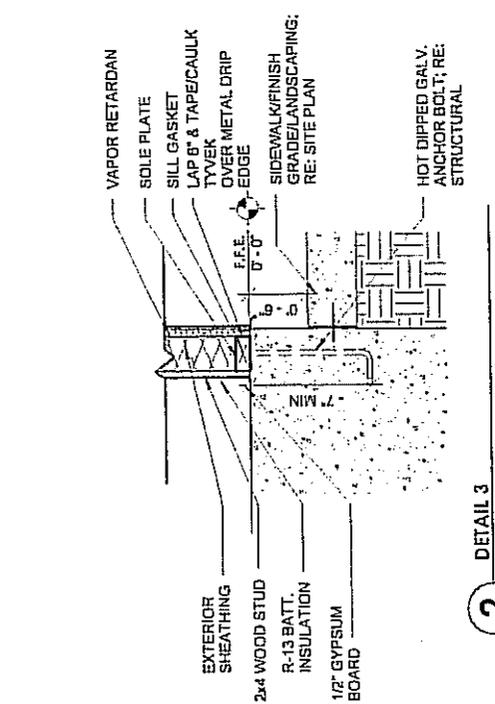
REDLINE
ARCHITECTURE
121 CALLE DEL NORTE SUITE 103
LAREDO, TX 78041

WALL SECTIONS

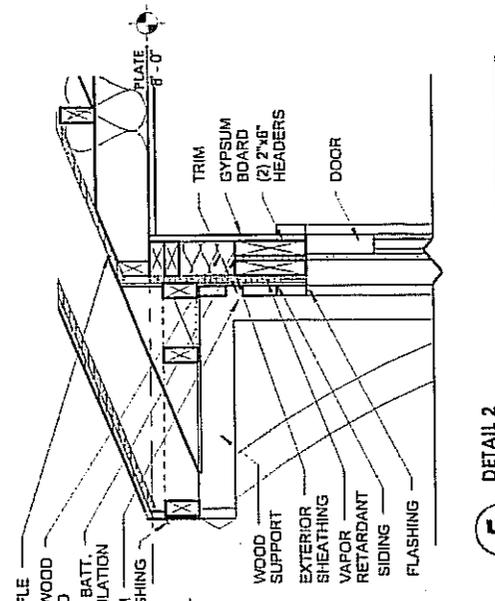
Project number	660914_03
Date	01-28-2015
Drawn by	JS
Checked by	JJM

Scale 1/2" = 1'-0"

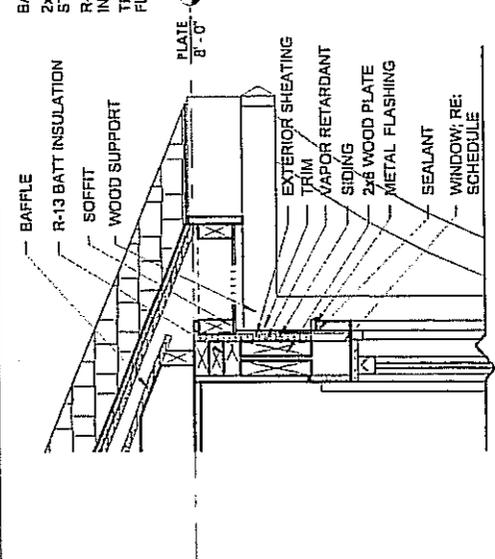
No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CDS	12-15-2014
3	FOR CONSTRUCTION	01-28-2015



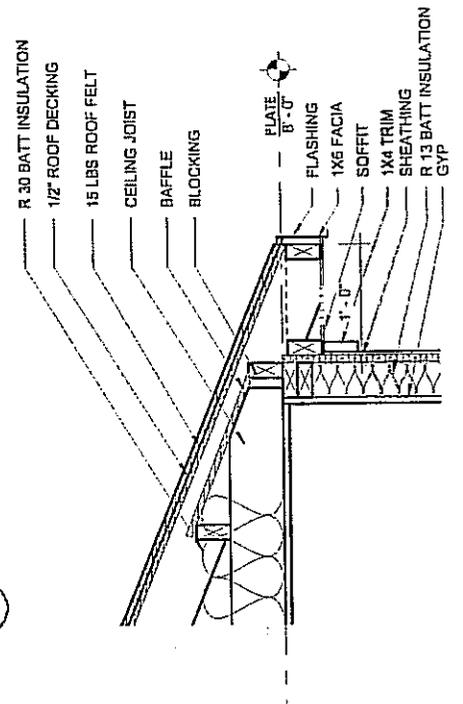
1
1" = 1'-0"



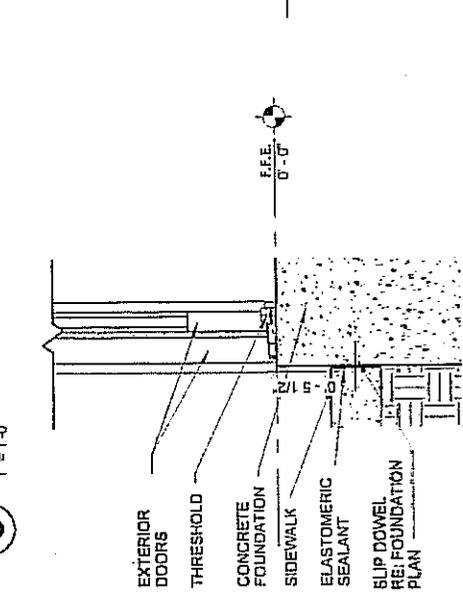
2
1" = 1'-0"



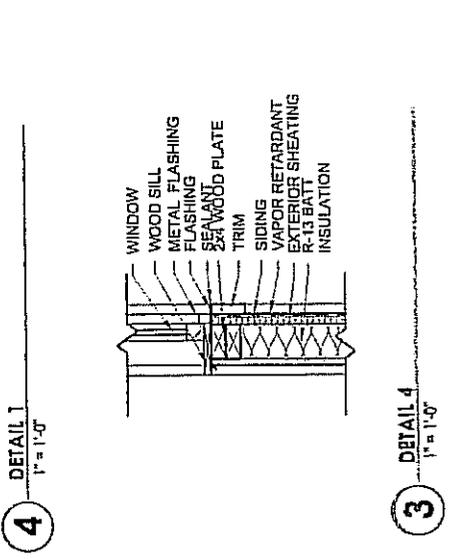
3
1" = 1'-0"



4
1" = 1'-0"



5
1" = 1'-0"



6
1" = 1'-0"

DETAIL SECTIONS

Project number: 690914_03
 Date: 01-28-2015
 Drawn by: JS
 Checked by: JJM
 Scale: 1" = 1'-0"

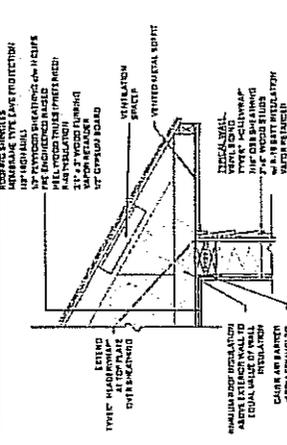
No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2014



WEBB COUNTY
 2014-009 "Self-Help Center Reconstruction Program"
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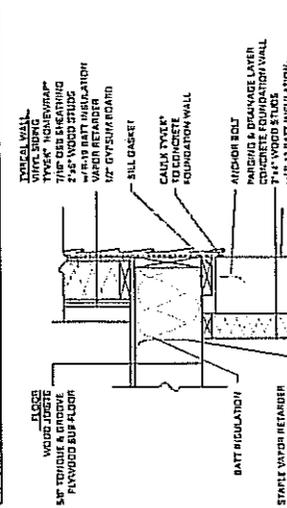
REDLINE
 ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

GENERAL NOTES:
 *SEAL ALL TYPK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
 *FASTEN TYPK® TO BREATHING WITH LARGE HEAD NAILS
 ON USE NAILS WITH LARGE PLASTIC WASHER HEADS (i.e., DUPONT™ W/ROCKFAS®)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
 THEREFORE COVERED OVER MATERIAL SELECTION AND DETAILING SHOULD BELOW.



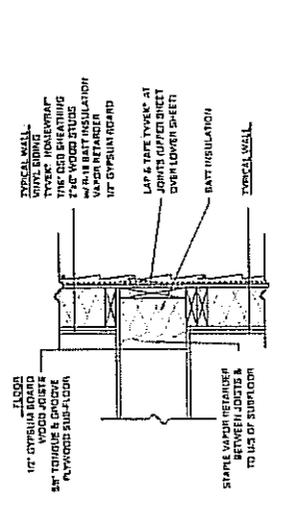
ROOF/WALL INTERFACE DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE WITH VENT. BOARD (HEARING CLIMATE)

GENERAL NOTES:
 *SEAL ALL TYPK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
 *FASTEN TYPK® TO BREATHING WITH LARGE HEAD NAILS
 ON USE NAILS WITH LARGE PLASTIC WASHER HEADS (i.e., DUPONT™ W/ROCKFAS®)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
 THEREFORE COVERED OVER MATERIAL SELECTION AND DETAILING SHOULD BELOW.



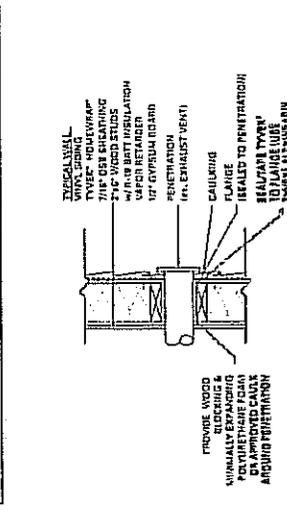
BASE OF WALL DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE WITH VENT. BOARD (HEARING CLIMATE)

GENERAL NOTES:
 *SEAL ALL TYPK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
 *FASTEN TYPK® TO BREATHING WITH LARGE HEAD NAILS
 ON USE NAILS WITH LARGE PLASTIC WASHER HEADS (i.e., DUPONT™ W/ROCKFAS®)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
 THEREFORE COVERED OVER MATERIAL SELECTION AND DETAILING SHOULD BELOW.



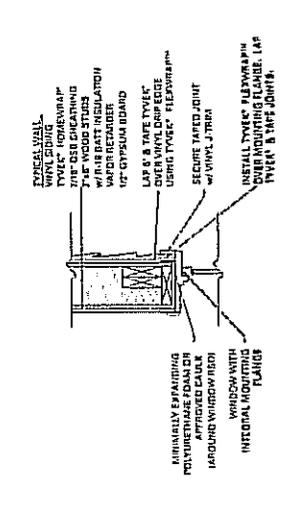
FLOOR/WALL INTERFACE DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE WITH VENT. BOARD (HEARING CLIMATE)

GENERAL NOTES:
 *SEAL ALL TYPK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
 *FASTEN TYPK® TO BREATHING WITH LARGE HEAD NAILS
 ON USE NAILS WITH LARGE PLASTIC WASHER HEADS (i.e., DUPONT™ W/ROCKFAS®)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
 THEREFORE COVERED OVER MATERIAL SELECTION AND DETAILING SHOULD BELOW.



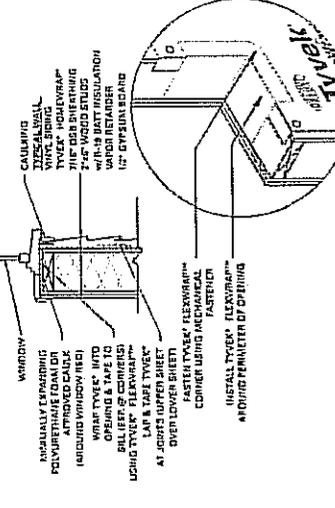
WALL PENETRATION DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE WITH VENT. BOARD (HEARING CLIMATE)

GENERAL NOTES:
 *SEAL ALL TYPK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
 *FASTEN TYPK® TO BREATHING WITH LARGE HEAD NAILS
 ON USE NAILS WITH LARGE PLASTIC WASHER HEADS (i.e., DUPONT™ W/ROCKFAS®)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
 THEREFORE COVERED OVER MATERIAL SELECTION AND DETAILING SHOULD BELOW.



WINDOW HEAD DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE WITH VENT. BOARD (HEARING CLIMATE)

GENERAL NOTES:
 *SEAL ALL TYPK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
 *FASTEN TYPK® TO BREATHING WITH LARGE HEAD NAILS
 ON USE NAILS WITH LARGE PLASTIC WASHER HEADS (i.e., DUPONT™ W/ROCKFAS®)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
 THEREFORE COVERED OVER MATERIAL SELECTION AND DETAILING SHOULD BELOW.



WINDOW SILL DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE WITH VENT. BOARD (HEARING CLIMATE)

REDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

WEBB COUNTY
 2014-009 "Self-Help Center Reconstruction Program"
 3 Bedroom

No.	Description	Date
1	PROGRESS SET	12-04-2014
2	95% CD'S	12-15-2014
3	FOR CONSTRUCTION	01-28-2014

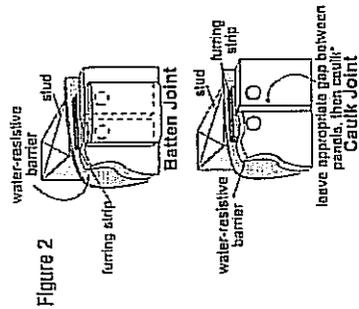
HOME WRAP DETAILS

Project number: 690914_03
 Date: 01-28-2015
 Drawn by: JS
 Checked by: TLM

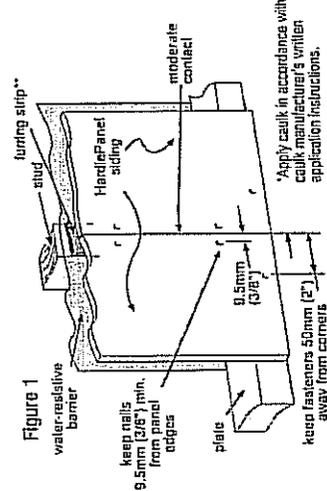
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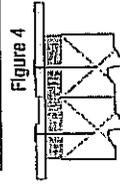
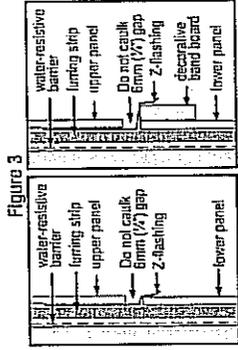
- HardiePanel Vertical Siding Installation**
- Framing must be provided at horizontal and vertical edges for fastening.
 - HardiePanel vertical siding must be joined on stud.
 - Double stud may be required to maintain minimum edge nailing distances.



- Fastener Requirements**
- Position fasteners 9.5mm (3/8") from panel edges and no closer than 50mm (2") away from corners.



- Joint Treatment**
- Vertical Joints - Install panels in moderate contact (fig. 1). Alternatively joints may also be covered with battens or caulked (Not applicable in ColorPlus® Finish) (fig. 2).
 - Horizontal Joints - Provide positive slope Z-flashing at all horizontal joints (fig. 3).



Recommendation: When installing Storm B, provide a double stud at panel joints to avoid nailing through grooves.

No.	Description	Date
2	95% CDS	12-15-2014
3	FOR CONSTRUCTION	07-28-2014



WEBB COUNTY
 2014-009 "Self-Help Center Reconstruction Program"
 3 Bedroom

REDLINE ARCHITECTURE
 121 CALLE DEL NORTE SUITE 103
 LAREDO, TX 78041

PANEL & TRIM DETAILS

Project number	600014_03
Date	01-28-2015
Drawn by	J5
Checked by	JJM
Scale	

A702